

# **Monroe County Historic Preservation Board of Review**



**September 17, 2018**

**5:30 p.m.**

**Monroe County Government Center  
Planning Department  
501 N. Morton Street, Room 224  
Bloomington, IN 47404**

# **Monroe County Historic Preservation Board of Review Agenda**

## **REGULAR MEETING North Showers Building 501 N. Morton Street, Room 224 Bloomington, IN 47404 September 17, 2018**

1. Call to Order
2. Approval of Meeting Minutes
  - a. August 20, 2018
3. Old Business – Board Discussion
  - a. 1806-COA-02  
Beaumont House – Certificate of Appropriateness Application  
One (1) 3.40 +/- acre parcel in Section 32 of Richland Township at 9030 W State Road 48.  
Zoned AG/RR/HP Overlay. (Michelle & Darin Cardwell)
  - b. I-69 Towers, LLC Conditional Use for Wireless Communication Facility (WCF) – Cell Tower  
Mount Zion Church Property, 7430 S Harmony Road.
4. New Business – Board Discussion
  - a. Mt. Ebal Church, 8700 S Fairfax Road (Brook & Corey Rieman)
5. Member Updates
6. Adjournment

Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of Monroe County, should contact Monroe County Title VI Coordinator Angie Purdie, (812)-349-2553, [apurdie@co.monroe.in.us](mailto:apurdie@co.monroe.in.us), as soon as possible but no later than forty-eight (48) hours before the scheduled event.

Individuals requiring special language services should, if possible, contact the Monroe County Government Title VI Coordinator at least seventy-two (72) hours prior to the date on which the services will be needed.

The meeting will be open to the public.

# **Monroe County Historic Preservation Board of Review Minutes**

**REGULAR MEETING  
North Showers Building  
501 N. Morton Street, Room 224  
Bloomington, IN 47404  
August 20, 2018**

**Members Present:** David Vanderstel, Danielle Bachant-Bell, Duncan Campbell, Debby Reed, Donn Hall, Devin Blankenship

**Staff Present:** Jordan Yanke

**Guests Present:** Michelle Cardwell, Darin Cardwell

**1. Call to Order 5:32pm.**

**2. Approval of Minutes**

July 16, 2018 – Approved unanimously.

**3. Old Business – Board Discussion Items**

**a. 1806-COA-02 Beaumont House – Certificate of Appropriateness Application**

**One (1) 3.40 +/- acre parcel in Section 32 of Richland Township at 9030 W State Road 48. Zoned AG/RR/HP Overlay. (Michelle & Darin Cardwell)**

Yanke – This is a Certificate of Appropriateness (COA) request for the Beaumont House.

Additional information is included in the packet from the prior meeting. The packet includes renderings and the approved site plan for the petition site.

Cardwells – Following up on last meeting, we sent additional information and are looking for any guidance or stipulations the Board may have.

Devin Blankenship – What finish for pavilion wood? Brand name?

Bachant-Bell – Will need additional detail for the buildings.

Campbell – Additional detail needed. It doesn't always have to be architectural renderings but very detailed.

Cardwells – Pavilion is 6/12 pitch roof, stain dark brown. Presented color and additional information via documentation for request No. 1 (pavilion). We can present more information in the future for item No. 3 (chapel).

**Blankenship – Motion to approve request No. 1 (pavilion) of Case No. 1806-COA-02 and continue request No. 3 of Case No. 1806-COA-02 to the next regular meeting in September.**

**Campbell – Second.**

**Motion carried 6-0.**

**b. I-69 Towers, LLC Conditional Use for Wireless Communications Facility (WCF) – Cell Tower; Mount Zion Church Property, 7430 S Harmony Road**

Yanke – The case is now set to be heard on September 10<sup>th</sup> by the Board of Zoning Appeals. Will keep everyone in the loop regarding the meeting. The Planning Department has received additional remonstrance and has forwarded the correspondence onto the state as part of their Section 106 Review. Will also reach out to the state to see if they have an update soon.

Board Discussion – Please keep us informed and let us know if the state has any updates.

**4. New Business – Board Discussion**

**a. Rooftop Quarry – E Empire Mill Road**

Blankenship – There were rumors about the Rooftop Quarry being filled in. Anything Board can do to designate the site?

Campbell – It is unlikely the owners will want to sell. The model to designate has been laid out by Interstate 69.

Reed – Important to reach out to owners before too late and involve people in discussions.

**b. Limestone Heritage Website Update (Planning Staff)**

Yanke – David drafted proposed marketing language for the website marketing initiative. The language will be shared with the Board in the future before making public.

**c. Board Education Item**

Bachant-Bell – It would be beneficial to have a list of topics for education items (i.e. COA process). Feel free to share any ideas for future meetings.

Yanke – We can shoot for next meeting to do the Section 106 presentation.

**5. Member Updates**

Blankenship – Would like to make sure the Board is kept in the loop and involved with discussions for the new ordinance update for Monroe County.

Yanke – Will keep everyone updated and speak with my supervisors about making sure the Board is involved in discussions for the new ordinance.

Bachant-Bell – The 2019 Statewide Preservation Conference in Evansville has a call for session proposals. The deadline is August 31<sup>st</sup>. Any ideas are welcomed and we can see about possibly submitting.

Yanke – Raised point about email from Phil about fence that was removed. Also mentioned that Indiana Landmarks Annual Meeting is coming up in September.

**6. Adjourned 7:24pm.**



**MONROE COUNTY PLANNING DEPARTMENT**  
Monroe County Government Center, 501 N. Morton St., Suite 224  
Bloomington, IN 47404  
Telephone: (812) 349-2560 / Fax: (812) 349-2967

## Certificate of Appropriateness

*Application for a certificate of appropriateness may be made to the Historic Preservation Board of Review for local designated historic properties only. Detailed drawings, plans, or specifications are not required. However, to the extent reasonably required for the Board of Review to make a decision, each application must be accompanied by sketches, drawings, photographs, descriptions, or other information showing the proposed exterior alterations, additions, changes, or new construction.*

### PROPERTY OWNER CONTACT INFORMATION

Name: <b>Michelle Cardwell</b>	Phone: <b>812-325-1184</b>
Address: <b>9030 W State Road 48</b>	
City: <b>Bloomington</b> ZIP Code: <b>47404</b>	Email: <b>Micheller3n@yahoo.com</b>

Date of Application: **6/17/18**

### PROPERTY INFORMATION

Date of Historic Designation: <b>12/13/17</b>	Address(es):
Name of Historic Property: <b>The Beaumont House</b>	

Parcel #(s): **53-04-32-300-002.001-011**

### List of Proposed Changes:

**To add a shelter house, barn and chapel per the approved site plan from the planning department.**

(Attach additional pages if needed)

**NEW PAVILION / SHELTER HOUSE → NO. 1 (APPROVED NO. 1 08/20/2018)**

**NEW BARN → NO. 2 (CONTINUED BY PETITIONER NO. 2)**

**NEW CHAPEL → NO. 3**

(Continued on other side)

## Additional Information

- Planning Ordinance Chapter 810

810-7. Construction Projects within Historic Districts; Certificates of Appropriateness Required; Exception

Except as provided in Section 15 of this Chapter, a certificate of appropriateness must be issued by the Board of Review before a permit is issued for or work is begun on any of the following:

- (A) Within all areas of the Historic District:
  - (1) the demolition of any building;
  - (2) the moving of any building;
  - (3) a conspicuous change in the exterior appearance of historic buildings by additions, reconstruction, alteration, or maintenance involving exterior color change; or
  - (4) any new construction of a principal building or accessory building or structure subject to view from a public way.
- (B) Within a primary area of the Historic District:
  - (1) a change in walls and fences or the construction of walls and fences along public ways; or
  - (2) a conspicuous change in the exterior appearance of nonhistoric buildings subject to view from a public way by additions, reconstruction, alteration, or maintenance involving exterior color change.

810-8. Applications for Certificates of Appropriateness

Application for a certificate of appropriateness may be made in the office of the Board of Review on forms provided by that office. Detailed drawings, plans, or specifications are not required. However, to the extent reasonably required for the Board of Review to make a decision, each application must be accompanied by sketches, drawings, photographs, descriptions, or other information showing the proposed exterior alterations, additions, changes, or new construction. The Board of Review shall prepare an application form, with instructions, for use by persons seeking a certificate of appropriateness from the Board of Review.

- You may be required to consult the following County departments and resources:

Building Department	(812) 349-2580
Highway Department	(812) 349-2555
Health Department	(812) 349-2543
Recorder's Office	(812) 349-2520
Monroe County Website	<a href="http://www.co.monroe.in.us">www.co.monroe.in.us</a>
Monroe County Zoning Ordinance	<a href="http://www.co.monroe.in.us/tsd/Government/Infrastructure/Planning/Department/DocumentManagerPlanning.aspx?EntryId=24711">http://www.co.monroe.in.us/tsd/Government/Infrastructure/Planning/Department/DocumentManagerPlanning.aspx?EntryId=24711</a>
Monroe County Planning Department	<a href="http://www.co.monroe.in.us/tsd/Government/Infrastructure/Planning/Department.aspx">http://www.co.monroe.in.us/tsd/Government/Infrastructure/Planning/Department.aspx</a>

*For Office Use Only*

Date of Historic Preservation Board of Review Hearing:	/ /	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Conditions for Approval:		

## Signatures

Historic Preservation Board Representative:

Owner(s):

Middle Carolina

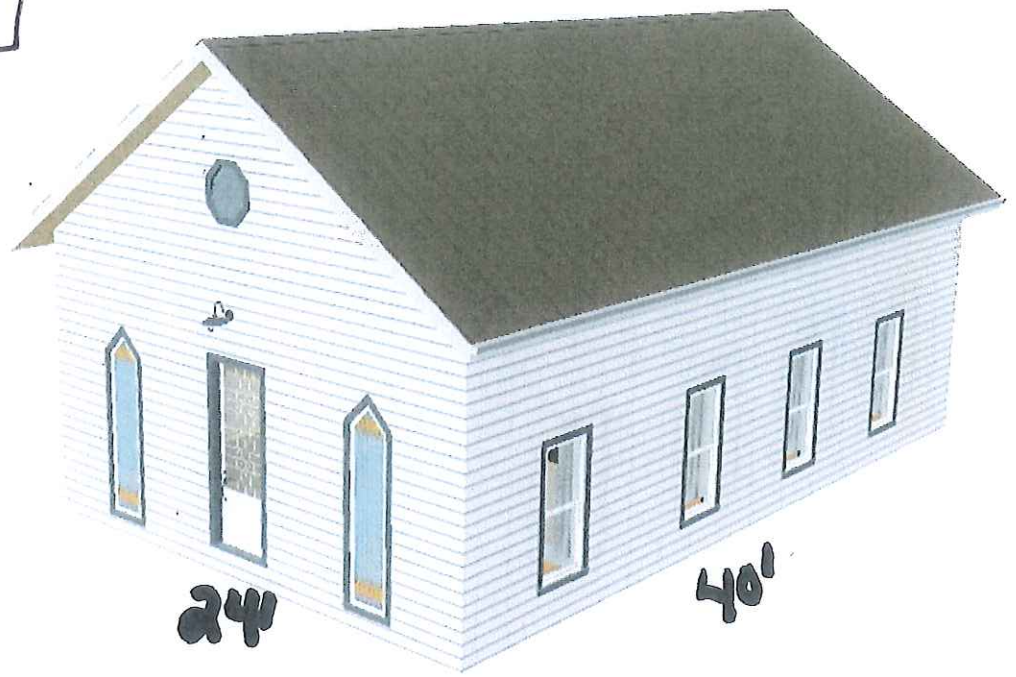
Date: \_\_\_\_\_

Date: 6/17/2018

Date: \_\_\_\_\_



# [NEW CHAPEL (NO. 3)]



## Chapel features

6" wood lap siding painted white

2 – 12' stained glass windows at West end entrance (salvage)

36" stained glass door w/transom at West end entrance (salvage)

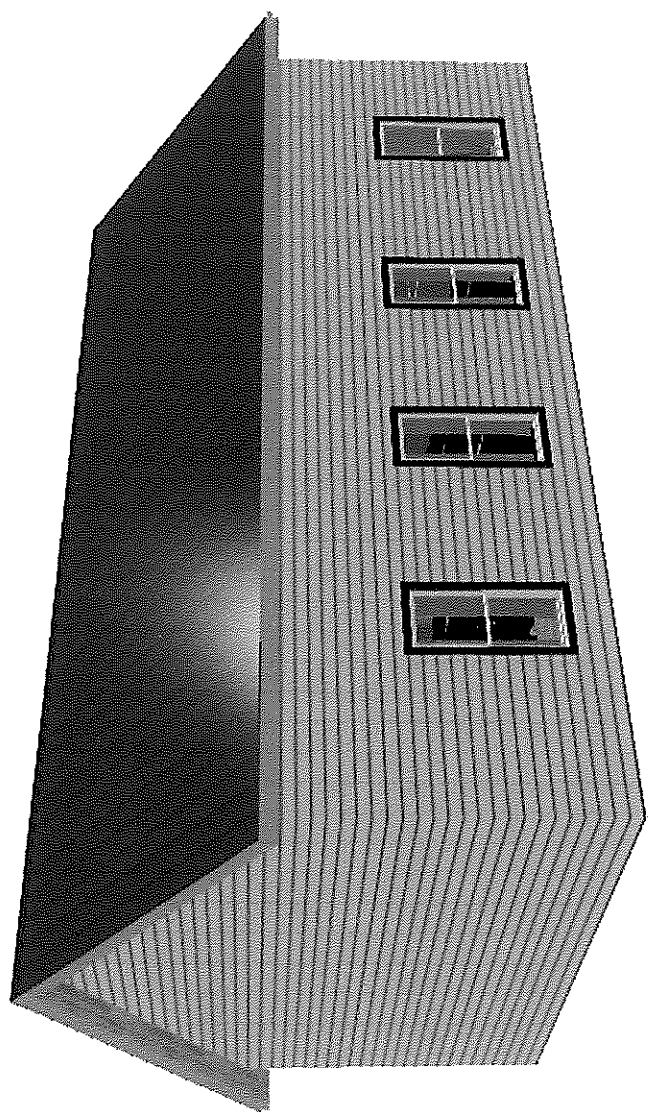
8 – wood single pane windows trim painted white, 4 on North side and 4 on South side (72" x 28'-36")

Roof 12/12 pitch with standing seam metal roof in bronze

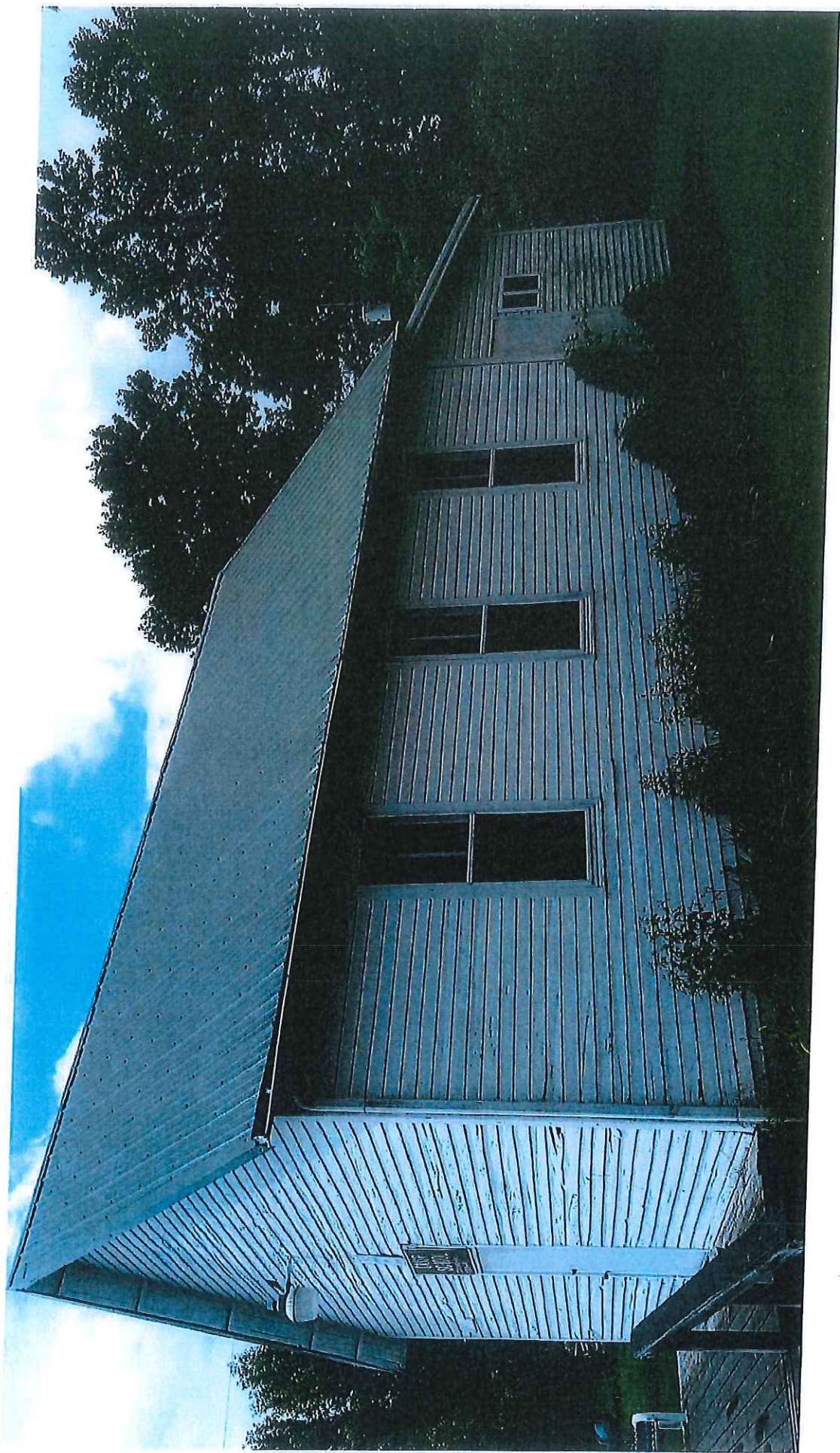
Slab foundation

14" goose neck wall light above entry door

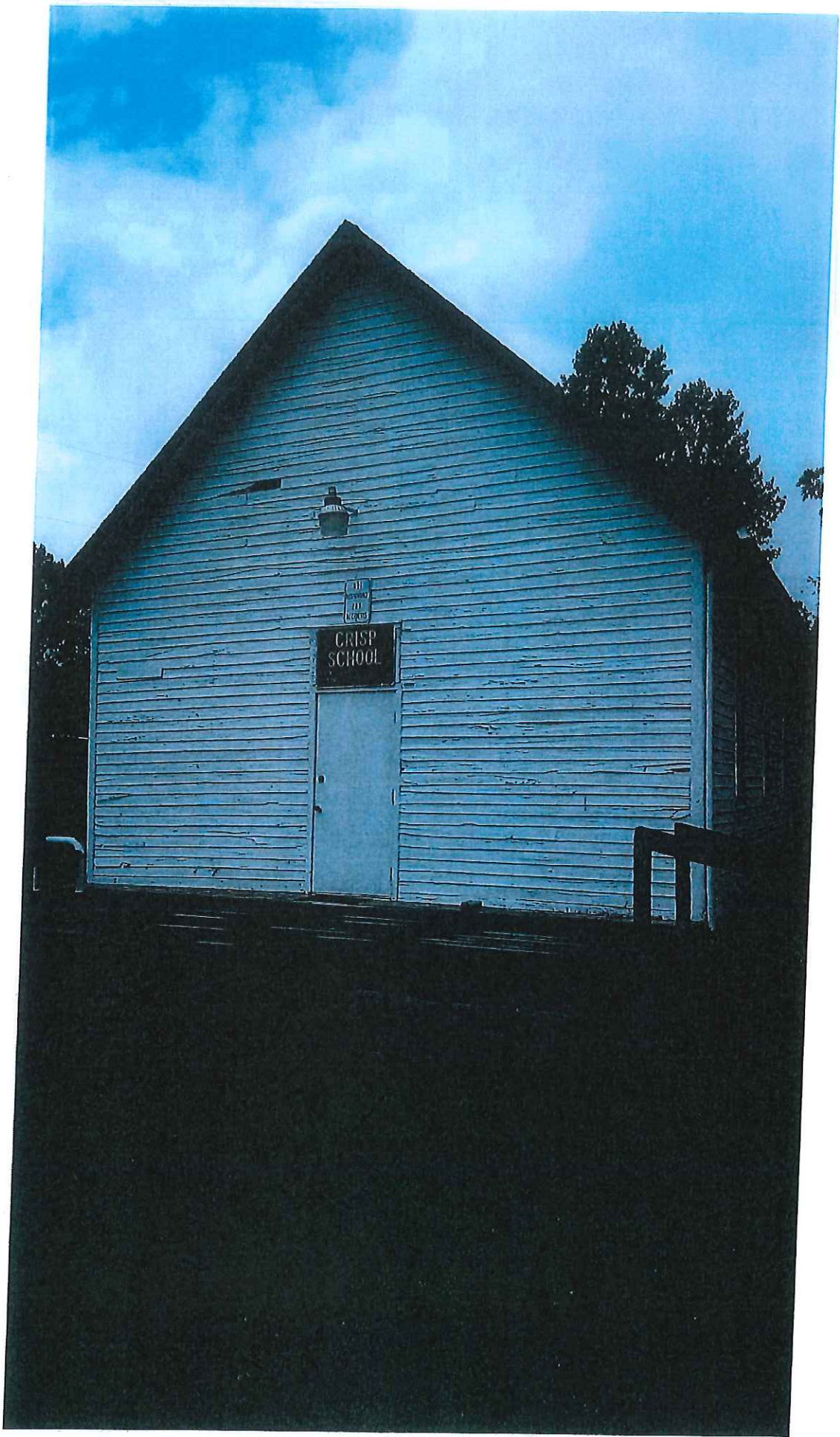
Rectangle gable vent in white







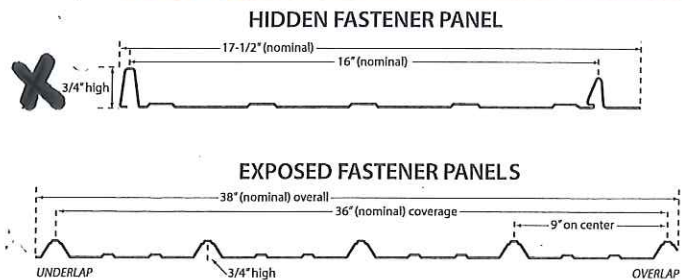






### EXPOSED FASTENER PANEL

- For complete details on Underwriters Laboratory product certifications see [www.ul.com](http://www.ul.com)



- The best features rolled into one snap lock panel
- Features a concealed fastener, standing seam look
- Limited Lifetime Paint Warranty

155-9725-9818

- The best choice in a through fastener panel
- Structural panel design
- Limited Lifetime Paint Warranty

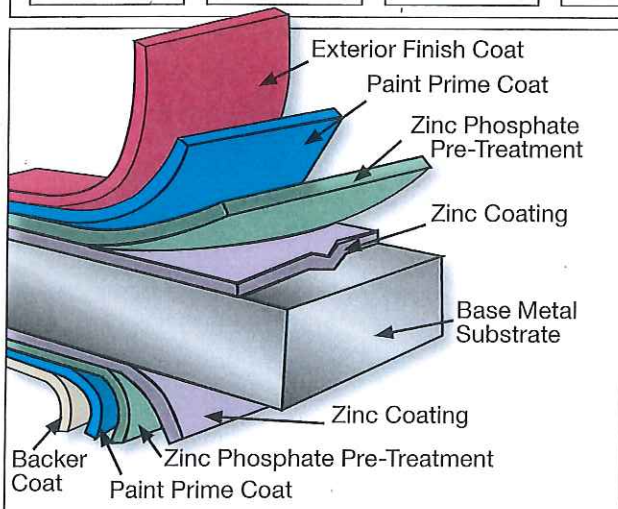
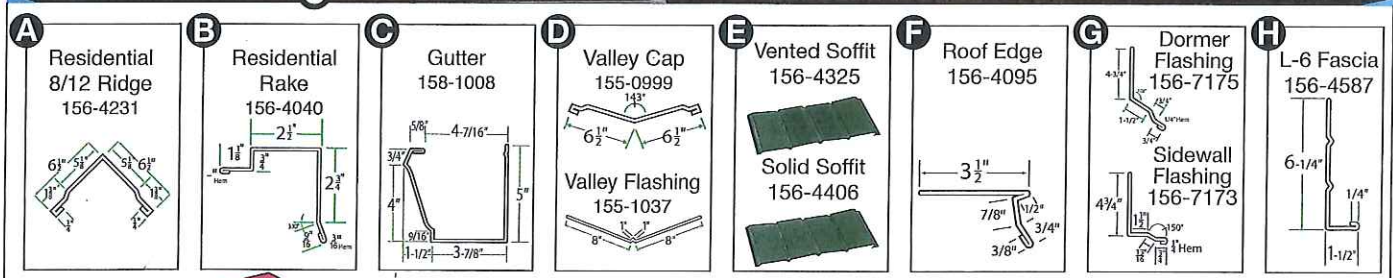
155-8991-9412

- The leading through fastener panel for a classic look
- Structural panel design
- Limited 40-year Paint Warranty

**155-8137-8166, 8182-8388**

155-8137-8166, 8182-8388

A photograph of a two-story house with a dark brown roof and light beige siding. The house features a prominent front-facing gable and a smaller side gable. Various parts of the roof and trim are labeled with letters A through H. A large, stylized text overlay on the left side of the image reads "Residential STEEL TRIM & ACCESSORIES".



Complete the look with our full line of trim & accessories  
at [www.midwestmanufacturing.com](http://www.midwestmanufacturing.com)



# Residential STEEL ROOFING

HIDDEN FASTENER PANEL

EXPOSED FASTENER PANEL

**BRITE WHITE**

**WHITE**

**PRAIRIE WHEAT**

**LIGHT STONE**

**PINEWOOD**

**BEIGE**

**TAN**

**CHOCOLATE**

**BRONZE**

**BURNISHED SLATE**

**BROWN**

**BLACK**

**ASH GRAY**

**LIGHT GRAY**

**CHARCOAL GRAY**

**MIDNIGHT GRAY**

**BRITE RED**

**RED**

**COLONIAL RED**

**BURGUNDY**

**SAGE**

**EMERALD GREEN**

**SLATE BLUE**

**OCEAN BLUE**

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**Note:** Color Chips show approximate tone. Color of actual product may vary.  
Final color approval should be made with actual material. Samples are available at [www.menards.com](http://www.menards.com)

**\*COPPER COLORED**  
\*Only Available in Premium Products

Item # 790095 Model # DA2430W

### Master Flow 26.5-in x 32.25-in White Rectangle Aluminum Gable Vent

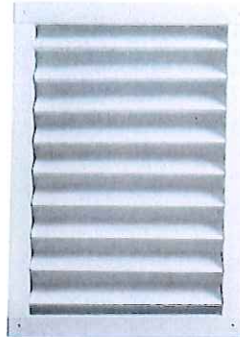
1 Rating



1.0 Average

Have an opinion?  
Help others decide.  
[Write a Review](#)

Community Q&A  
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**\$40.85**

- Aluminum wall louver, 26.5-in x 32.25-in overall size
- Used for **intake** or exhaust applications
- For recessed or flush installation

You must order this item in multiples of 2.

2

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**Ships to Store FREE**

Ready for pickup: Estimated by 09/21/2018



**Delivery**

Ready for delivery: Estimated on 09/21/2018

Item # 561644 Model # BCE8414GV

### Quoizel Beachside 14.25-in H Galvanized LED Outdoor Wall Light

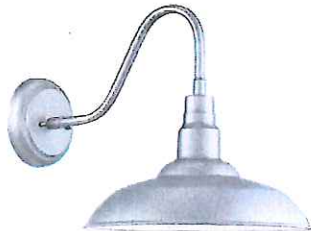
1 Rating



2.0 Average

Have an opinion?  
Help others decide.  
[Write a Review](#)

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**\$149.99**

- The curved arm of the painted fixture extends the shade outward and the interior of the shade is white providing a larger illuminated footpri...
- Backplate dimensions: 6-in diameter
- Projection from wall: 21-in

1

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**Ships to Store FREE**

Ready for pickup: Estimated by 09/17/2018



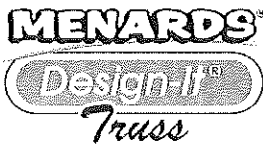
Store: 3174

Date: 2018-09-09 16:44:18.137

Guest Name: Inrealty

Guest Phone: 8123251184

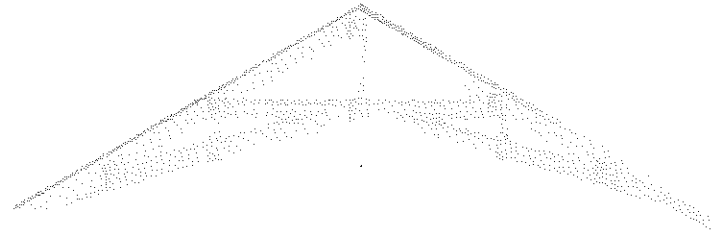
Team Member: DENE S.



Use the Design Number to recall this Quote in The Truss Store.

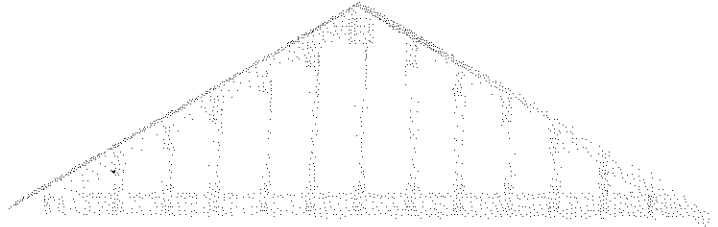
DESIGN: 317457115475

Truss Type: Scissor  
Sku: 1004547  
Span: 24'  
Pitch: 12/12  
Bottom Pitch: 9/12  
Heel Height: 5" 3/16  
Left Overhang: 1'  
Right Overhang: 1'  
Left Cantilever: 0'  
Right Cantilever: 0'  
Loading: 20-7-0-10  
Shipping Truss Length: 3'  
Shipping Truss Height: 1' 10" 15/16



\* This truss has been sent to our Truss Design Department for proper Engineering and Pricing.

Truss Type: End Truss  
Sku: 1004547  
Span: 1'  
Pitch: 12/12  
Bottom Pitch: 0/12  
Heel Height: 5" 3/16  
Left Overhang: 1'  
Right Overhang: 1'  
Left Cantilever: 0'  
Right Cantilever: 0'  
Loading: 20-7-0-10  
Shipping Truss Length: 3'  
Shipping Truss Height: 1' 10" 15/16



\* This truss has been sent to our Truss Design Department for proper Engineering and Pricing.

#### Comments:

- Truss quotes usually get returned within 1-2 days during regular business days.
- Tax, labor and delivery are not included. Truss picture(s) are for representation only.
- Loading values are just an estimate. Please contact your local building inspector to verify your code requirements.

This is an estimate. It is given only for general price information. This is not an offer and there can be no legally binding contract between the parties based upon this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY OF THE MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST, BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.





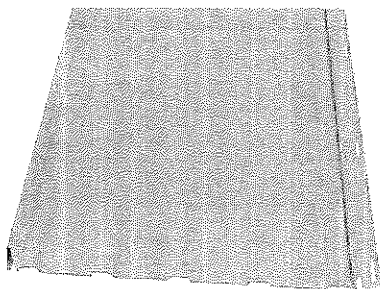
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## Premium Pro-Snap Steel Panel

Model Number: Forest\_Green\_1559757-41 | Menards® SKU: 1559757 | Variation: Forest Green



### Product Specifications:

**Dimensions:** 16" nominal coverage; 16" on center rib spacing

**Product Type:** Roofing Panel

**Material:** Steel

**Manufacturer Warranty:** Limited Lifetime

**Color/Finish:** Forest Green

**Overall Width:** 17-1/2 inch



**Overall Length:** Custom inch

**Coverage Per Piece:** Varies by size ordered square foot

**Minimum Slope:** Varies based on length of roof run

**Rib Height:** 3/4 inch

Pricing available after measurements are entered

	FREE Ship To Store
Available for Special Order at BLOOMINGTON	
Get it as soon as 09/21/2018	
	Shipping
Available	

### Product Description

Premium Pro-Snap® is an excellent choice for your residential or light commercial applications. It is an economical, snap together, concealed fastener roofing panel. Premium Pro-Snap® offers ease of installation, longevity, energy savings and exceptional durability. The superior performance of the Premium Paint System sets this steel roofing panel apart from the crowd. Manufactured to the highest industry standards. Environmentally friendly product.

- 16" nominal coverage; 16" on center rib spacing
- Custom cut lengths from 4' to 36' in 1" increments available special order in Menards store and Menards.com
- Hidden fastener panel system
- Highest hail resistance (Class 4), Class A Fire Rated
- Actual .0157" minimum thickness before painting .018" nominal thickness after painting (28 gauge)
- G100 galvanization coating plus zinc phosphate - 66% more than 40-year paint warranty panels
- Structural qualities of a nominal 100,000 PSI tensile strength
- Manufactured from structural strength ASTM-A653 grade 80 steel pre-painted to ASTM-A755 specifications
- Weighs approx. 74 lbs. per 100 sq. ft.
- Limited Lifetime paint warranty
- All steel over 36' to 50' must be ordered at a Menards store and delivered directly to jobsite or picked up at the plant in Eau Claire, WI, Holiday City, OH, or Valley, NE. Delivery is extra. Additional packaging/handling charges required. Hidden fastener/pro-snap price is figured on 17-1/2" nominal width.

**Brand Name:** Premium Pro-Snap

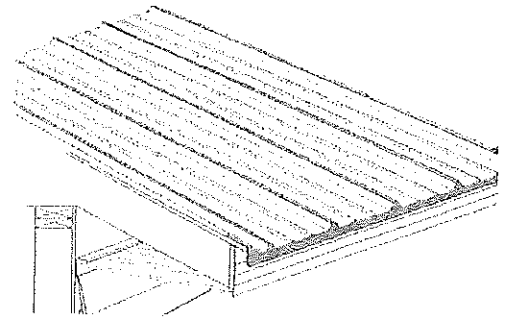
**Please Note:** Prices, promotions, styles and availability may vary by store and online. Inventory is sold and received continuously throughout the day; therefore, the quantity shown may not be available when you get to the store. This inventory may include a store display unit. Online orders and products purchased in-store qualify for rebate redemption. Rebates are provided in the form of a Menards® Merchandise Credit Check valid towards purchases at any Menards® retail store. Not valid for purchases on MENARDS.COM®.

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# Panel Installation

## Where should my first panel be placed?

The first panel on the roof should be  $\frac{1}{4}$ " in from the rake end and can overhang the roof edge a minimum of  $\frac{3}{4}$ " or a maximum of 3". This method is used as long as the roof plane is square.

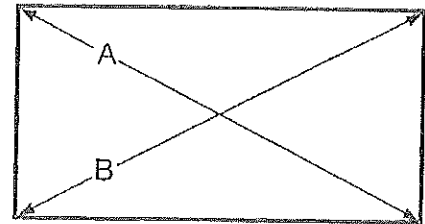


## What if my roof plane is not square?

The panels when placed on the roof will run square. If the roof plane is out of square compensation will need to be made in the placement of the steel. Most builders place the panels true to the eaves and not true to the rake to compensate for the lack of squareness.

## What if I ran true to the rake and it's still out of square?

Running true to the rake means compensation for square has to be made at the eaves line. This is a noticeable step in the panel from sheet to sheet. This usually looks like the panel at the eaves line is  $\frac{1}{4}$ " longer or shorter than the previous panel. It also makes the panel look like it has not been cut square at the end.

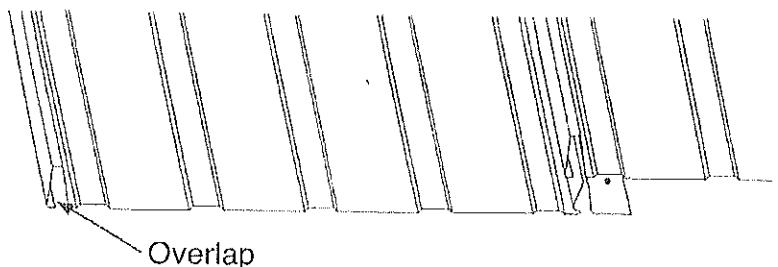
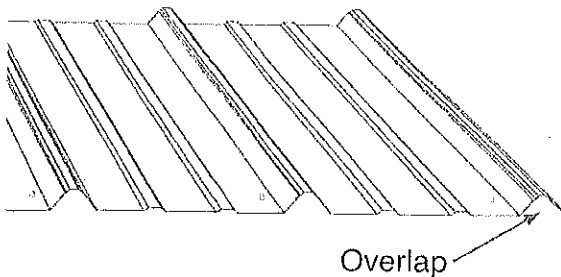
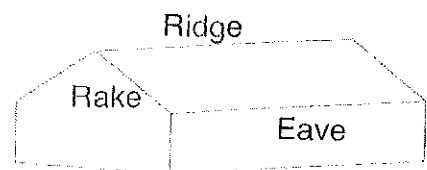


## So how do I know if my roof is square?

Measure the diagonals on the roof. If the Measurements of "A" and "B" are the same then your roof is square. If the measurements are not the same then adjustments may need to be made to run your steel correctly.

## Where should I place the fasteners on my first panel?

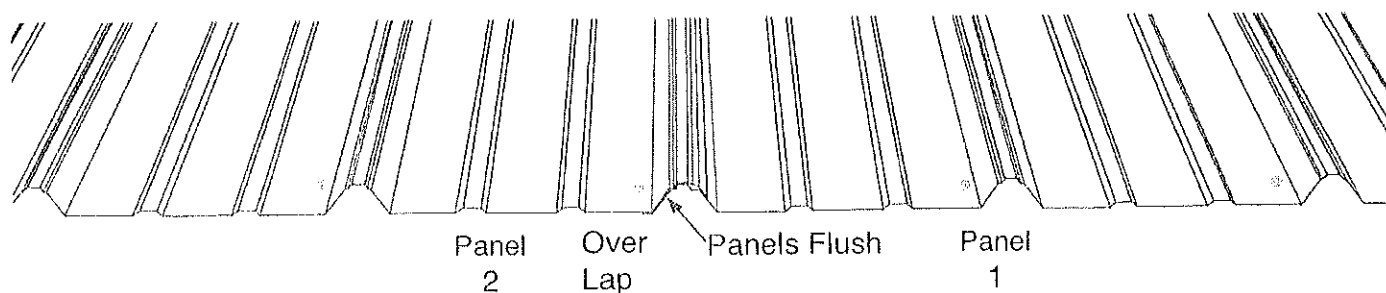
For Pro-Rib® and Premium Pro-Rib® panels, the fasteners at the top and the bottom of the should be placed in the flat next to the rib. The first panel should be placed so the overlap side of the panel is towards the rake end of the roof.



# Panel Installation

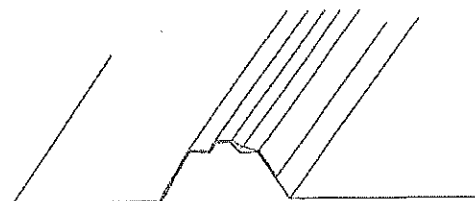
## Where does my second panel get placed?

Whether you are using exposed or hidden fastener panels, the next panel should overlap the previous panel and be flush at the eaves end of the panel.



## Where do fasteners go on the next panel installed?

On exposed fastener panels the overlap should always be fastened top to bottom to insure a good lap of the panels. Properly seated lap prevents any leakage from capillary action.



## What if my panels are not lapped correct?

A panel that is overlapped too much will cast shadow lines that will be noticed to the point where you can see every panel lap on the roof. A panel that is not lapped enough could show light through the lap. Both cases could result in a leak or aesthetic appearance problems.

## What about the Hidden Fastener panel lap?

Install your first panel square on your roof. Then while making sure panels are flush at the eaves edge, lightly compress and snap panels together at the seam. Snap the panels from eaves to ridge. Fasteners should not be spaced more than 24" o.c. in the fastening flange. The eaves also need to be fastened between the ribs. Three common methods are:

- 1) 2 residential roofing screws evenly spaced between the Ribs at the Eaves.
- 2) Steel Roof Edge fastened one foot on center with a 1" pancake head screw and Tape Mastic applied to the Roof Edge.
- 3) Notch both the overlap and underlap of the hidden fastener panel back  $\frac{3}{4}$ " from the Eaves edge. Hem the Eaves edge to the bottom side of the panel and hook the hemmed edge on a Steel Roof Edge that has been installed with 1" pancake head screws 12" on center.



# Panel Fasteners

## Should I use screws or nails to fasten down the panel?

In most cases woodgrip or residential roofing screws are necessary in residential application for wind uplift protection when fastening panels to a deck that is most often less than 1½" thick. In a ½" deck it would require more than 5 times the nails to equal the uplift restraint provided with woodgrip or residential roofing screws. Properly installed woodgrip or residential roofing screws provide leak free performance for many years, often longer than the useful life of the building. It is not possible for nails to provide similar leak protection.

## How long of a screw should I use?

Long enough to penetrate through the sheathing.

Example #1: New Construction with ½" sheathing, 30# felt:

Screws applied in the rib should be a minimum of 2"

Screws applied in the flat should be a minimum of 1"

Example #2: Re-roof over:

2 layers of existing shingles and ¾" sheathing:

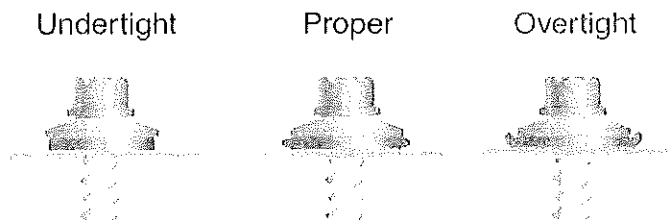
¾" sheathing + ½" Shingles + ⅛" felt + ¼" fanfold + ¾" Steel Panel Rib  
= 2½" Woodgrip or 2½" residential roofing screws applied on top the rib.

## How should the woodgrip screws be spaced?

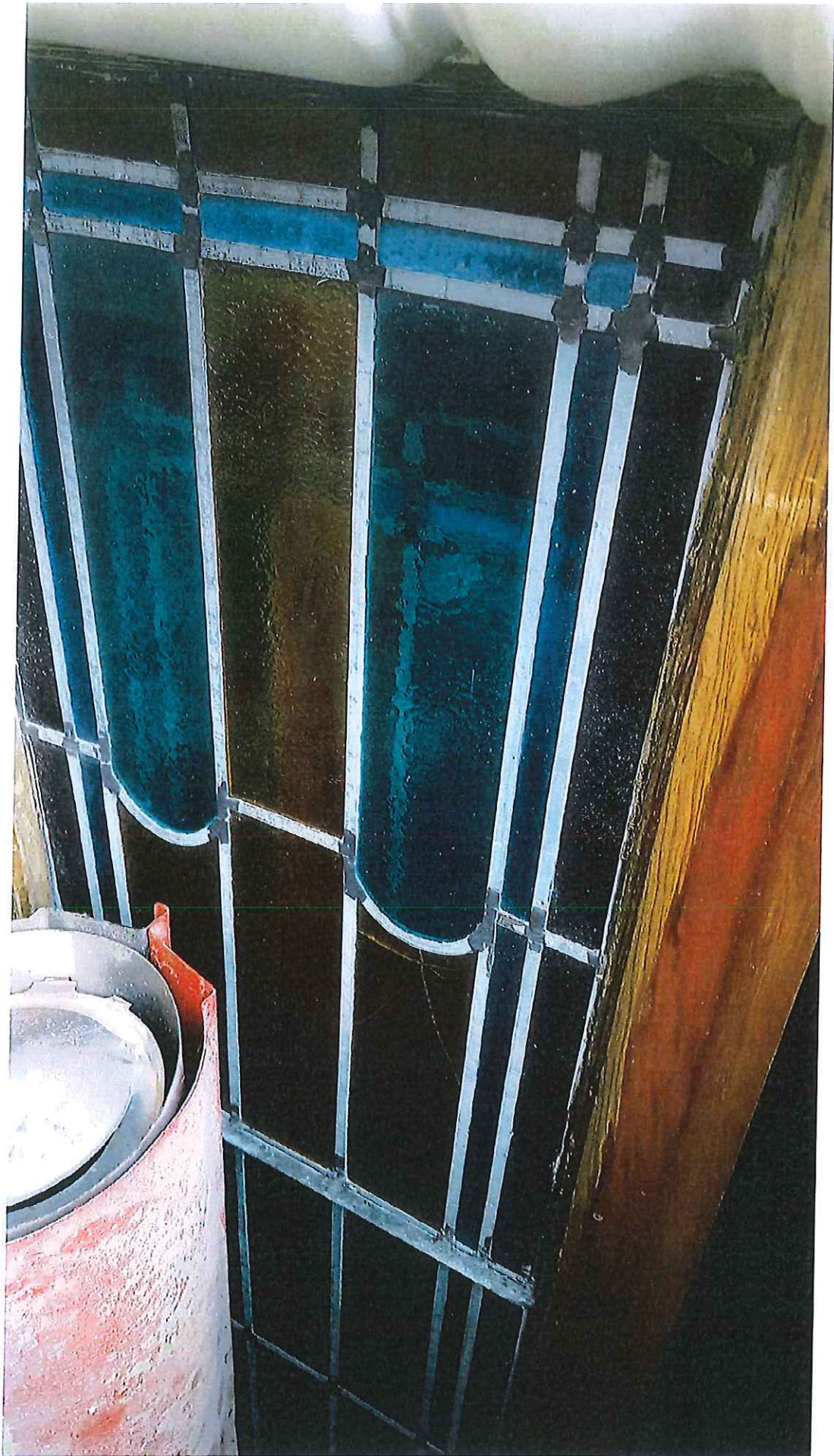
On exposed fastener panels there should be one screw for each rib and the rows should not exceed 36" apart and should be 9" on center for proper wind uplift requirements.

## How should woodgrip or residential roofing screws be seated?

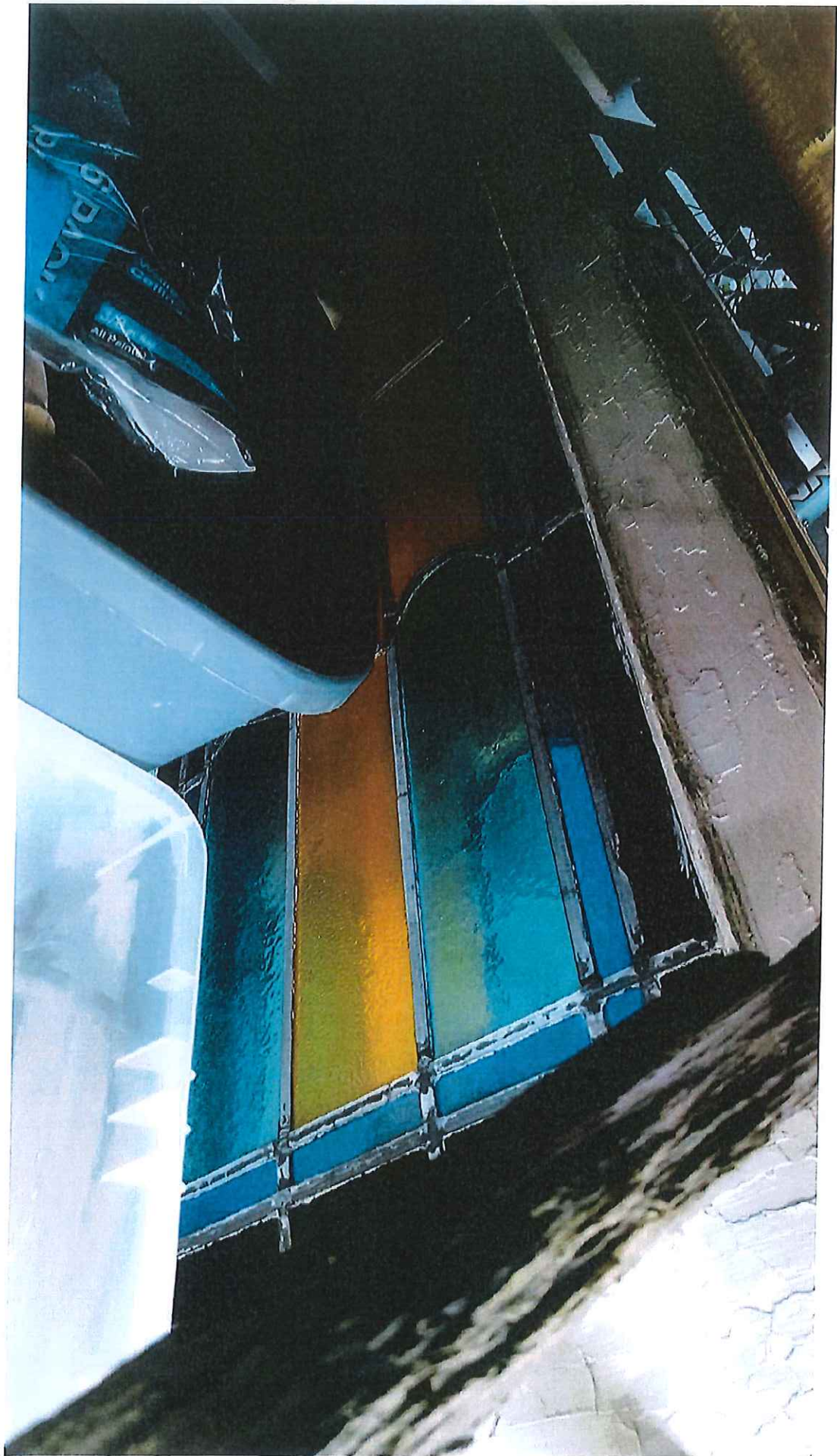
The screw should always be perpendicular to the steel panel. The woodgrip or residential roofing screw should not be over or under torqued. There should be pressure on the rubber washer, but not so much that it flattens the washer. (see below)











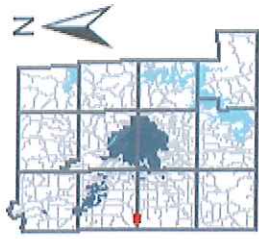






# Structures Map

 Petitioner



(NO. 1)

PROPOSED PAVILION/SHELTER HOUSE

Shed

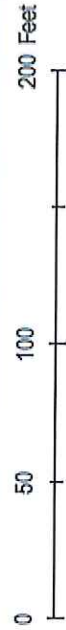
Root Cellar

Garage

House

PROPOSED BARN (NO. 2)

PROPOSED CHAPEL (NO. 3)





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MONTGOMERY COUNTY PLANNING





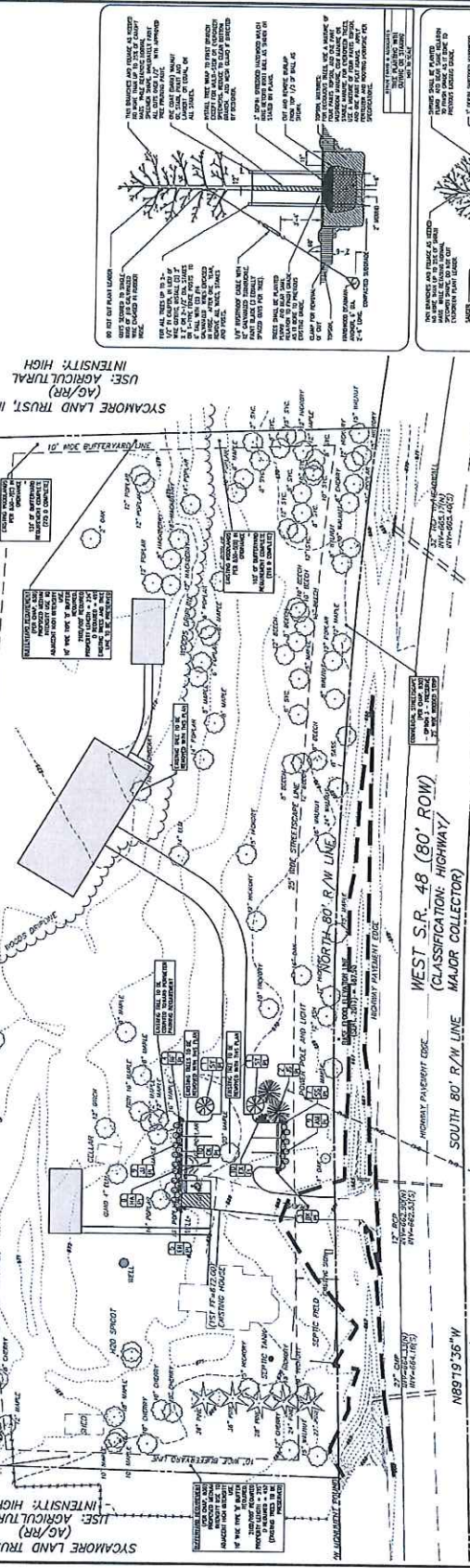




### PLANT INVENTORY

QTY	SYMBOL	COMMON NAME	SIZE & CONDITION	SPACING	DATE	BY	UNIT
1	1"	SALE AMERICAN	1" CAL. 8-8	20' ROW	3/2	2	20'
1	2"	SALE AMERICAN	2" CAL. 8-8	20' ROW	3/2	2	20'
1	3"	SALE AMERICAN	3" CAL. 8-8	20' ROW	3/2	2	20'
1	4"	SALE AMERICAN	4" CAL. 8-8	20' ROW	3/2	2	20'
1	5"	SALE AMERICAN	5" CAL. 8-8	20' ROW	3/2	2	20'
1	6"	SALE AMERICAN	6" CAL. 8-8	20' ROW	3/2	2	20'
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1	8"	SALE AMERICAN	8" CAL. 8-8	20' ROW	3/2	2	20'
1	9"	SALE AMERICAN	9" CAL. 8-8	20' ROW	3/2	2	20'
1	10"	SALE AMERICAN	10" CAL. 8-8	20' ROW	3/2	2	20'
1	11"	SALE AMERICAN	11" CAL. 8-8	20' ROW	3/2	2	20'
1	12"	SALE AMERICAN	12" CAL. 8-8	20' ROW	3/2	2	20'
1	13"	SALE AMERICAN	13" CAL. 8-8	20' ROW	3/2	2	20'
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1	18"	SALE AMERICAN	18" CAL. 8-8	20' ROW	3/2	2	20'
1	19"	SALE AMERICAN	19" CAL. 8-8	20' ROW	3/2	2	20'
1	20"	SALE AMERICAN	20" CAL. 8-8	20' ROW	3/2	2	20'

SYCAMORE LAND TRUST, INC.  
(AG/RR)  
USE: AGRICULTURAL  
INTENSITY: HIGH



PROPOSED  
THE DEAMONTHOUSE LLP  
8030 WEST STATE ROAD 48  
BLOOMINGTON, INDIANA 47403

ARCHITECTURE  
PLANNING  
BIRMINGHAM ASSOCIATES, INC.  
528 North Main Street  
(612) 339-2290 (FAX)

ENGINEER  
18233  
THE DEAMONTHOUSE LLP  
8030 WEST STATE ROAD 48  
BLOOMINGTON, INDIANA 47403

DESIGNED BY: DMR  
DRAWN BY: DMR  
CHECKED BY: DMR  
DATE: 3/2/18  
SHEET NO. 001  
PROJECT NO. 180188

PLANT INVENTORY

QTY	SYMBOL	COMMON NAME	SIZE & CONDITION	SPACING	DATE	BY	UNIT
1	1"	SALE AMERICAN	1" CAL. 8-8	20' ROW	3/2	2	20'
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NOTE TO CONTRACTOR

CONFIRMATION: THE PLANT INVENTORY AND LOCATION SHOWN ON THIS PLAN IS THE PROPERTY OF THE ENGINEER. ANY CHANGES TO THE PLANT INVENTORY OR LOCATION SHALL BE MADE TO THE PLAN PRIOR TO ANY CONSTRUCTION. THE ENGINEER SHALL BE RESPONSIBLE FOR THE PLANT INVENTORY AND LOCATION SHOWN ON THIS PLAN.



APPROVED

PROJECT NO. 10283  
DATE 10/20/2010  
BY [Signature]

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10283  
10/20/2010  
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10283  
10/20/2010  
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ARCHITECTURE  
PLANNING  
CIVIL ENGINEERING  
BIRMINGHAM ASSOCIATES, INC.  
(205) 333-2292 (FAX)  
(205) 333-2292 (FAX)

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10283  
10/20/2010  
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10/20/2010  
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PROPOSED  
THE BEAUMONT HOUSE, LLP  
8000 WEST STATE ROAD 48  
BLOOMINGTON, INDIANA 47403

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10283  
10/20/2010  
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10283  
10/20/2010  
[Signature]

DESIGNED BY: DJB  
DRAWN BY: DJB  
CHECKED BY: DJB  
PROJECT NO.: 10283

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10/20/2010  
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10/20/2010  
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