

Monroe County Historic Preservation Board of Review



Monday, March 20, 2023
5:30 p.m.

Hybrid Meeting

In-person

Monroe County Government Center
Planning Department
501 N. Morton Street, Room 100B
Bloomington, IN 47404

Virtual

Zoom Link: <https://monroecounty-in.zoom.us/j/85490430168?pwd=OGIxT0JENUFVN0ovM24vaWdxMnFzUT09>

If calling into the Zoom meeting, dial (312) 626 6799

Meeting ID: 854 9043 0168

Password: 214096

AGENDA
MONROE COUNTY HISTORIC PRESERVATION
BOARD OF REVIEW

Monday, March 20, 2023

5:30 PM

HYBRID MEETING INFO

IN-PERSON: Monroe Government Center 501 N Morton ST Room 100B Bloomington IN 47404

VIRTUAL LINK: <https://monroecounty->

[in.zoom.us/j/85490430168?pwd=OGIxT0JENUFVN0ovM24vaWdxMnFzUT09](https://monroecounty-in.zoom.us/j/85490430168?pwd=OGIxT0JENUFVN0ovM24vaWdxMnFzUT09)

If calling into the Zoom meeting, dial: 312-626-6799.

When prompted, enter the Meeting ID #: 854 9043 0168

Password: 214096

1) Call to Order

2) Approval of Meeting Minutes: February 20, 2023 PAGE 3

3) Administrative Business

- a) Follow-up to MCHP Board of Review membership terms
- b) Follow-up to Annual Property Owner Notice Letter
- c) Potential of HP Overlay District in Annexation Area 4 PAGE 7
- d) CDO Discussion: Q&A

4) Old Business

- a) Coordination Letter, FHWA Project: INDOT Des. No. 2200020; High Street Multi-Use Path; Monroe County, Indiana
- b) Dry Stone Conservancy Report – Rumpke Stone Wall Preservation & Maintenance Plan
- c) INDOT Early Coordination Letter: Hot Mixed Asphalt (HMA) Overlay, Minor Structural Project along SR 46, from the SR 446 intersection to the W Junction (JCT) of SR 135
- d) Bloomington Ops Tower (Project) – Historic Properties Review
- e) Certificate of approval application to install parking spaces to a newly acquired property adjacent to Monroe Lake (DHPA #30239) PAGE 11
- f) Early Coordination Letter, Des. No. 1902772, Bridge Project on Rockport Road over Branch Clear Creek, 0.04 Mile South of Boline Lane in Monroe County, IN. PAGE 13

5) New Business

- a) Section 106 Letter – Accessible Sidewalk at Adams Street PAGE 26
- b) Section 106 Letter – Four New Bioretention Ponds PAGE 78
- c) Section 106 Letter – Construction of Governor Park Multi-Family Building PAGE 84
- d) Section 106 Letter – Construction of Retreat at Switchyard Multi-Family Building PAGE 101
- e) 2023 Work Plan Updates PAGE 103

6) Adjournment

NEXT MEETING: April 17, 2023

Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of Monroe County, should contact Monroe County Title VI Coordinator Angie Purdie, (812)-349-2553, apurdie@co.monroe.in.us, as soon as possible but no later than forty-eight (48) hours before the scheduled event.

Individuals requiring special language services should, if possible, contact the Monroe County Government Title VI Coordinator at least seventy-two (72) hours prior to the date on which the services will be needed.

The meeting will be open to the public.

DRAFT MINUTES
MONROE COUNTY HISTORIC PRESERVATION
BOARD OF REVIEW

Monday, February 20, 2023
5:30 PM

HYBRID MEETING INFO

IN-PERSON: Monroe Government Center 501 N Morton ST Room 100 B, Bloomington IN 47404

VIRTUAL LINK: <https://monroecounty-in.zoom.us/j/82305485858?pwd=c2lrWFp0eGFNQUtqK0NQQiFLazRTQT09>

If calling into the Zoom meeting, dial: 312-626-6799.
When prompted, enter the Meeting ID #: **823 0548 5858**
Password: **214096**

Attendees: Debby Reed, Donn Hall, Doug Wilson, Polly Root Sturgeon, Susan Snider Salmon
Absent: Devin Blankenship, Don Maxwell, Duncan Campbell
Staff: Drew Myers, Tech Services to assist with meeting
Public: None.

1) Call to Order @5:31 PM.

2) Approval of Meeting Minutes: January 23, 2023

Sturgeon: Motion to approve the minutes.

Snider Salmon: Seconded.

Approved: 5-0.

3) Administrative Business:

a) Follow-up to MCHP Board of Review membership terms

Myers: Asked the Board if any members had received any letters of term renewal from the County Commissioners' Office.

Hall: Stated he has not received any such letter.

b) Follow-up to Annual Property Owner Notice Letter

Myers: Asked the Board to provide any additional comments, corrections, or edits to be made to the draft annual property owner notice letter. Summarized the associated list of property owners and the one new addition to the list since its last issuance.

Snider Salmon: Questioned the owner's name listed for one of the properties included on the list.

Myers: Clarified that the addresses listed are the *owner* addresses, not the *property* addresses.

[Discussion of properties included on the list].

Snider Salmon: Requested staff merge the owner address into the text of the letter so that it provides a reminder to the owner of their specific property protected by the HP Overlay.

[Board members provided staff with the go ahead to mail the letter out with the aforementioned edits].

c) Potential of HP Overlay District in Annexation Area 4

Myers: Summarized the discussion item. A county commissioner reached out to staff to ask the HP Board of Review what their thoughts were in regards to providing an HP Overlay district over the area described as Annexation Area 4, which successfully defeated the annexation effort of the city with remonstrance petitions.

Sturgeon: Requested staff pull up the SHAARD database to review what historical resources may be present in the area and their classification.

[Discussion of whether this area could still be annexed or not. If it could, who would hold jurisdiction over a historic preservation district?]

Myers: Clarified that all historic resources labeled in pink on the SHAARD database are classified as “contributing”, while any green labels are classified as “notable”, and any red labels are classified as “outstanding”.

[Discussion of SHAARD datapoints in the area and how most are labeled as “contributing”].

Sturgeon: Pointed out that the proposed district as currently depicted would include a whole neighborhood that does not include any historic resources identified by SHAARD.

Wilson: Suggested that said neighborhood could be excluded from the receiving the overlay.

Snider Salmon: Asked what staff needed from the Board at this time.

Myers: Stated that the discussion was useful and suggested that staff prepare a list of resources included in the proposed area.

d) CDO Discussion: Q&A

Myers: Mentioned the upcoming focus group discussions for the County Development Ordinance and invited the members of the Board to attend the virtual meeting.

4) Old Business

a) Coordination Letter, FHWA Project: INDOT Des. No. 2200020; High Street Multi-Use Path; Monroe County, Indiana

Myers: Provided a brief synopsis of what was discussed at the January MCHP meeting. Asked the Board to provide any additional comment or recent research related to this project.

Snider Salmon: Stated her concern for where the expansion will take place. Described the area as “densely settled”.

[Discussion on the scope of the project and if widening of the road will be required].

Myers: Reiterated that this is an early coordinator letter so specific details to the project’s scope are not readily available. Staff to communicate to the project coordinator that the MCHP Board of Review wants to remain a consulting party.

b) Dry Stone Conservancy Report – Rumpke Stone Wall Preservation & Maintenance Plan

Myers: Summarized prior discussion of this item at the January Board meeting. Opened the floor to discussion regarding additional comments or concerns with this preservation plan. Stated he will talk to the Planning Director and the County Attorney of what is needed at this stage from the Board to move forward.

Snider Salmon: Articulated her appreciation for the detail of the report from the Dry Stone Conservancy. Asked if she could use some of the photos presented in the report.

Myers: Advised she reach out to the Conservancy to confirm using the photos is okay.

Wilson: Reiterated the question of what happens to the dry-stone wall if Rumpke ever sells the property.

Myers: Explained the HP Overlay and the possibility of a deed covenant to protect the wall.

Sturgeon: Stated an interest in putting an HP Overlay on the wall structure itself.

Reed: Commended the authors of the report for their extremely detailed work.

c) INDOT Early Coordination Letter: Hot Mixed Asphalt (HMA) Overlay, Minor Structural Project along SR 46, from the SR 446 intersection to the W Junction (JCT) of SR 135

Myers: Stated there are no updates from the project coordinator. Reminded the Board that staff communicated to the coordinator that MCHP requests to remain a consulting party. Asked the Board to assist with providing additional comment regarding the project's scope and to assist in preparing information to send a follow-up email to the coordinator.

d) Bloomington Ops Tower (Project) – Historic Properties Review

Myers: Informed the Board that there are no updates to report and no responses from this project's coordinator.

Snider Salmon: Asked what the Board should expect as a response from the project coordinator after receiving an objection from the Board.

Myers: Stated that he was not sure and that a dialogue will likely be initiated as the coordinator reevaluates their project.

5) New Business

a) Certificate of approval application to install parking spaces to a newly acquired property adjacent to Monroe Lake (DHPA #30239)

Myers: Stated that he did not have enough information to share about this project at this time. The letter came from DNR related to a specific project of which staff has not received any other notice. Explained that he would coordinate with the Floodplain Administrator to see if she was aware of any such projects.

b) Early Coordination Letter, Des. No. 1902772, Bridge Project on Rockport Road over Branch Clear Creek, 0.04 Mile South of Boline Lane in Monroe County, IN.

Myers: Summarized the project's scope. Asked the Board to share any comments or concerns regarding the project.

[Discussion of the project's location and where exactly the bridge is located].

Snider Salmon: Requested that Duncan review this project at next month's meeting citing his knowledge of the subject area.

c) 2023 Work Plan

Myers: Stated that he is working on scheduling a meeting with Wendy Wilson to discuss updates to the Limestone Heritage website.

Reed: Explained that she was in support of Polly submitting a grant proposal for the limestone education workshop. Asked if she could vote on it now as she needs to depart from the meeting.

Snider Salmon: Moved that the Board prepare a grant proposal and have Polly finalize it before the grant submission deadline.

Hall: Seconded.

Approved: 5-0.

6) Adjournment @6:45 PM

One of the County Commissioners asked Planning Staff to investigate the possibility of establishing an HP Overlay District in one of the previously proposed annexation areas of the City of Bloomington. Annexation Area 4 encompasses a neighbor area between the intersection of W 3rd Street and S Cory Lane to the north and the intersection of S Cory Lane and W Bloomfield Road to the south. This area successfully defeated annexation efforts of the City through remonstrance petitions. The area exhibits several original quarry worker residences. Nearly all of the identified historic resources in the area are classified as “contributing” by SHAARD. Please see the following exhibits below for more information.

If the area were to receive an HP Overlay, the Monroe County Historic Preservation Board of Review would establish jurisdiction of the area the same as any other HP Overlay. However, if in the future the area were to be annexed by the City of Bloomington, then the overlay would need to transition to the responsibility of the Bloomington Historic Preservation Commission. MCHP as a CLG cannot operate in an incorporated area.

From: Julie Thomas <jthomas@co.monroe.in.us>
Sent: Friday, January 20, 2023 1:37 PM
To: Jacqueline N. Jelen <jnester@co.monroe.in.us>
Subject: Items for research

Hi Jackie –

Here are the two items I would like someone to conduct some research on in the database

I have heard from a resident of Annexation area 4 (one of the islands) and she made a compelling case for creating some kind of district over the area. One option would be a historic district. The homes are old and include some original quarry worker residences. The resident highlighted the fact that this is an area of hobby farms and most residents have planted vegetation to encourage wildlife and pollinators. There are a large number of old-growth trees in the area. They successfully defeated the annexation effort of the city with remonstrance petitions. FYI, we are looking at providing septic assistance to the residents of the area with ARPA funds. I would be happy to go with Drew to meet the resident and tour the area.

In addition, I wonder if someone in Planning could review ordinances in other states relating to the protection of organic farms. Have other counties developed some language regarding this? A required buffer would be ideal – especially to guard against wind-blown herbicides / pesticides. I recognize that downstream pollutants and cross-pollination are impossible to address.

Thank you!

Julie

EXHIBIT 1: Letter from Commissioner to Planning Director

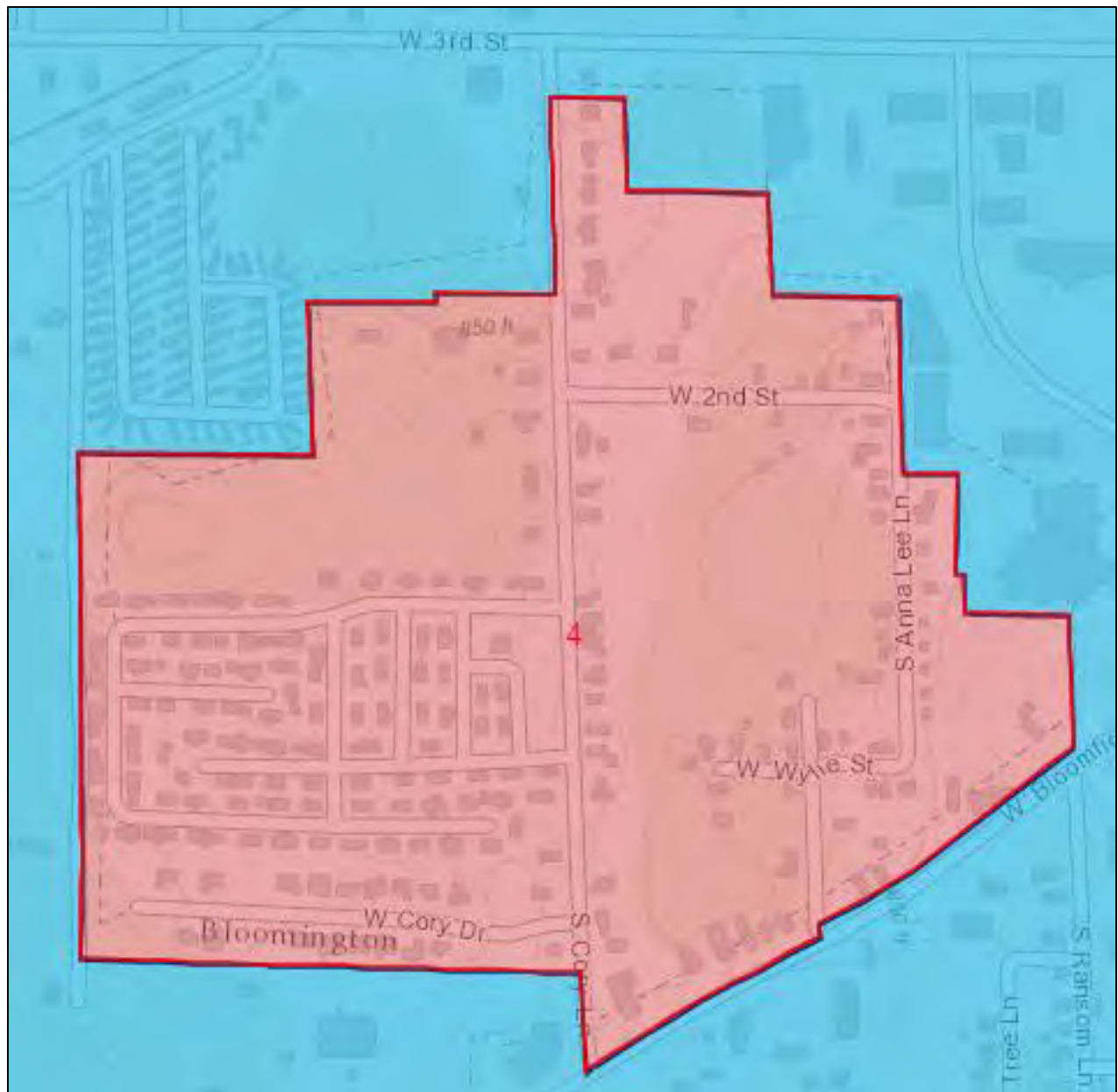


EXHIBIT 2: Proposed HP Overlay in Area 4

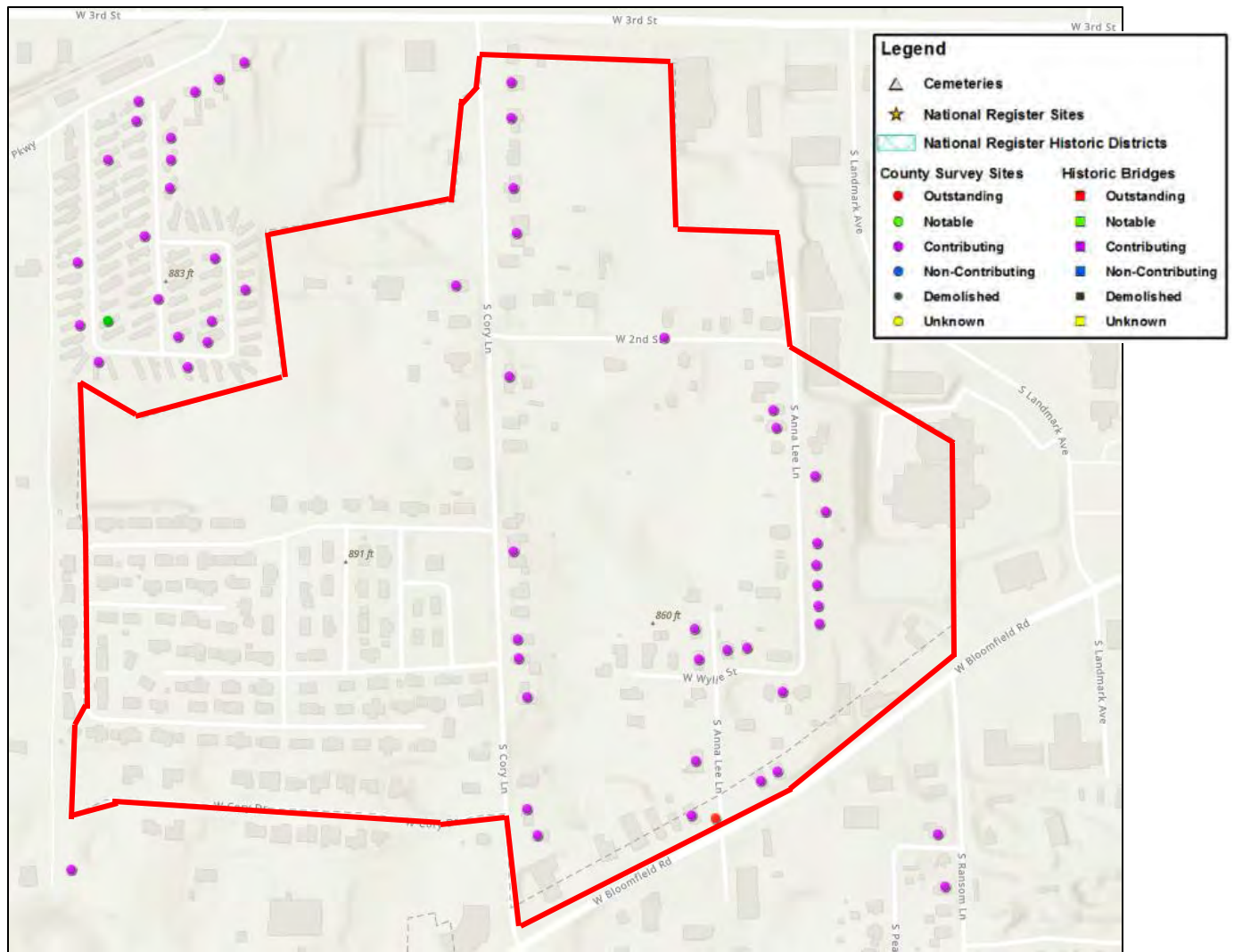


EXHIBIT 3: Historic Resources Identified by SHAARD

ADDRESS	SHAARD_ID	HISTORICNAME	RATING	REPORT
409 S Cory LN	105-055-60663	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
2001 S Cory LN	105-055-60667	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
307 S Cory LN	105-055-60669	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
604 S Cory LN	105-055-60671	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
500 S Cory LN	105-055-60672	Bloomington Veterinary Hospital	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
809 S Cory LN	105-055-60784	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
816 S Anna Lee LN	105-055-60786	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
820 S Anna Lee LN	105-055-60787	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
821 S Anna Lee LN	105-055-60788	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
705 S Cory LN	105-055-60789	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
725 S Cory LN	105-055-60790	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
729 S Cory LN	105-055-60791	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
825 S Cory LN	105-055-60800	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
612 S Anna Lee LN	105-055-60802	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
1470 W Bloomfield RD	105-055-60809	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
1804 W Wylie ST	105-055-60810	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
1812 W Wylie ST	105-055-60811	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
1816 W Wylie ST	105-055-60812	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
1902 S Barry DR	105-055-60813	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
1904 W Wylie ST	105-055-60815	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
1908 W Piper LN	105-055-60816	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
311 S Cory LN	105-055-60817	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
409 S Cory LN	105-055-60818	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
715 S Anna Lee LN	105-055-60821	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
717 S Anna Lee LN	105-055-60822	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
719 S Anna Lee	105-055-60823	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
721 S Anna Lee LN	105-055-60824	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
723 S Anna Lee LN	105-055-60825	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
725 S Anna Lee LN	105-055-60826	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
616 S Anna Lee LN	105-055-60827	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
627 S Anna Lee LN	105-055-60828	House	Contributing	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey
W Bloomfield RD	105-055-60829	Service Station	Outstanding	https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey

Division of Historic Preservation & Archaeology 402 W. Washington Street, W274 Indianapolis, IN 46204-2739
Phone 317-232-1646 Fax 317-232-0693 dhp@dnr.IN.gov



February 2, 2023

Benjamin Clark
Cultural Resources Manager
Indiana State Parks
402 West Washington Street, W298
Indianapolis, Indiana 46204

State Agency: Indiana Department of Natural Resource, Division of State Parks

Re: Certificate of approval application to install parking spaces to a newly acquired property adjacent to Monroe Lake (DHPA #30239)

Dear Mr. Clark:

Pursuant to Indiana Code 14-21-1-18 and 312 IAC 20-4, the Indiana Department of Natural Resources, Division of Historic Preservation and Archaeology ("DHPA") has conducted a review of the materials dated and received by the DHPA on January 18, 2023, for the above indicated project in Monroe Lake, Bloomington, Monroe County, Indiana.

Thank you for your submission for the above indicated project. Based on what we currently know, there are no known state-owned historic sites or historic structures that are eligible for inclusion or listed on the National Register or Indiana Register within the project area. Therefore, under Subsection 11(a) of 312 IAC 20-4, a certificate of approval will not be necessary from the Indiana Historic Preservation Review Board for this project.

Pursuant to 312 IAC 20-4-11(g), within fifteen (15) days after this determination, an interested person may request a member of the review board to provide public hearing and review under 312 IAC 2-3. The designated member shall issue a determination whether an application for a certificate of approval must be filed. If the designated member determines an application must be filed, the division shall place the completed application on the agenda of the review board's next meeting. If the designated member determines that an application for a certificate is not required, the division director's letter of clearance is affirmed. A determination under this subsection is not effective until the later of the following:

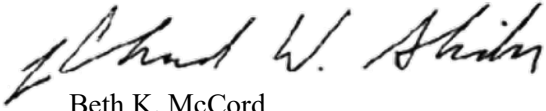
- (1) fifteen (15) days after issuance of the determination; or
- (2) the day resulting from a notice given under 312 IAC 2-3-7(d).

If any archaeological artifacts, features, or human remains are uncovered during construction, state law (Indiana Code 14-21-1-27 & 29) requires that the discovery must be reported to the Department of Natural Resources within two (2) business days. In that event, please call (317) 232-1646.

If you have any further questions regarding this determination, please contact the DHPA. Questions about

archaeological issues should be directed to Melody Pope at (317) 234-5254 or melpope@dnr.IN.gov. Questions about historic buildings or structures pertaining to this project should be directed to Caitlin Lehman at (317) 232-0461 or clehman1@dnr.IN.gov. Additionally, in all future correspondence regarding the above indicated project, please refer to DHPA #30239.

Very truly yours,



Beth K. McCord
Director, Division of Historic Preservation & Archaeology

BKM:CML:MKP:mkp

emc: Ben Clark, Indiana DNR, Division of State Parks
Glenda Murray, Monroe County Historian
Daniel Schlegel, Jr., Monroe County History Center
Drew Myers, Monroe County Historic Preservation Board of Review
Mark Dollase, Regional Office, Indiana Landmarks Central Regional Office
J. Scott Keller, Indiana Historic Preservation Review Board
Daniel Kloc, AIA, Indiana Historic Preservation Review Board
April Sievert, Ph.D., Indiana Historic Preservation Review Board
Jason Larrison, AIA, Indiana Historic Preservation Review Board
Anne Shaw, Indiana Historic Preservation Review Board
Chandler Lighty, Indiana Historic Preservation Review Board
Ryan Mueller, Deputy Director, Indiana Department of Natural Resources
Beth McCord, Director, Division of Historic Preservation and Archaeology

January 30, 2023

Early Coordination Agency

Re: Early Coordination Letter, Des. No. 1902772, Bridge Project on Rockport Road over Branch Clear Creek, 0.04 Mile South of Bolin Lane in Monroe County, Indiana

Dear Early Coordination Agency:

The Indiana Department of Transportation (INDOT), with funding from the Federal Highway Administration (FHWA), is developing plans for the aforementioned bridge project in Monroe County. This letter is part of the early coordination phase of the environmental review process. We are requesting comments from your area of expertise regarding any possible environmental effects associated with the project. **Please use the above designation number and description in your reply.** We will incorporate your comments into a study of the project's environmental impacts.

The project is on South Rockport Road over Branch Clear Creek, 0.04 mile south of West Bolin Lane, within the City of Bloomington in Monroe County, Indiana. The existing bridge (#53-00308. NBI #5300163) consists of three steel multiplate underfill pipe arches constructed in 1980. Each pipe arch has a span of 10.3 feet and a rise of 7.2 feet that are approximately 40 feet long, with a total structure length of 39.4 feet. According to the April 19, 2022, bridge inspection by Beam, Longest and Neff, the pipe arches are rated in poor condition, or a four out of nine. Deficiencies in the bridge include settled and failing stone headwalls at the structure's outlet, surface and expansion rust at the flowline of each pipe arch, and small holes in the bottom of the south pipe arch at the inlet.

The existing roadway, South Rockport Road, is a two-lane, north to south roadway with two 10-foot lanes and 1-foot shoulders. South Rockport Road will be realigned to improve the roadway geometry through the bridge and the Bolin Lane intersection. Bolin Lane is a two-way, east-to-west roadway with two 10-foot-wide travel lanes, one in each direction. The purpose of the project is to meet current American Association of State Highway and Transportation Officials (AASHTO) and INDOT standards by improving the overall safety and condition rating of the bridge. This will be achieved through a full replacement while also improving the roadway geometry of South Rockport Road and the intersection with Bolin Lane.

The proposed project consists of a full replacement with a three-span, curved, continuous reinforced concrete slab bridge with an overall length of 80 feet. Concrete end bents on piles and concrete wall piers on spread footings are the anticipated substructure types. The new bridge will be built at a 35-degree skew to match the proposed channel, which is being shifted to the southeast due to its current poor alignment. This will also improve roadway safety. The bridge center will also be constructed to match the center of the proposed channel. Class 1 riprap will be installed on each spillover around End Bents 1 and 4 and Piers 2 and 3 for scour countermeasures. The proposed South Rockport Road roadway width will be two 12-foot lanes, one in each direction, with 3-foot paved shoulders. Bolin Lane will have two 10-foot-wide lanes, one in each direction, with 2-foot paved shoulders. The intersection of the two roads will be widened to improve turning movement of vehicles. The project will require a full road closure with signed detour for the Maintenance of Traffic (MOT), and it is anticipated to be in place for 10 months.

Approximately 2.1 acres of permanent right-of-way (ROW) and 0.1 acre of temporary ROW is required. An estimated 0.95 acre of tree clearing is required. Temporary lighting is not anticipated for construction purposes. Land use in the vicinity is primarily early to mid- 20th century rural residential properties, fields, and woodlands. The posted speed limit is 30 miles per hour (mph).

Waters and wetlands determinations will be performed by BLN to identify water resources that may be present. The project is anticipated to qualify for the Rangewide Programmatic Agreement for the Indiana Bat and the Northern long-eared Bat by completing the Information for Planning and Consultation (IPaC).

Qualified Professionals will evaluate the project area for archaeological and historic resources for Section 106 compliance. The results of this investigation will be forwarded to the INDOT Cultural Resources Office (CRO) and the State Historic Preservation Officer (SHPO) for review and concurrence. Monroe County is within the Indiana karst region, and three karst features were identified within 0.5-mile of the project area, but none within or adjacent to the project area.

Please provide your response within thirty (30) calendar days from the date of this letter. However, should you find that an extension to the response time is necessary, a reasonable amount may be granted upon request. If you have any questions, or if we can be of any further assistance, please contact Matt Walker, INDOT Project Manager, at matwalker@indot.in.gov or Kristin Wing at kwing@b-l-n.com or telephone 317-849-5832. Thank you in advance for your input.

Sincerely,

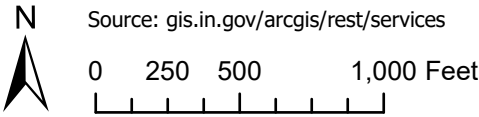
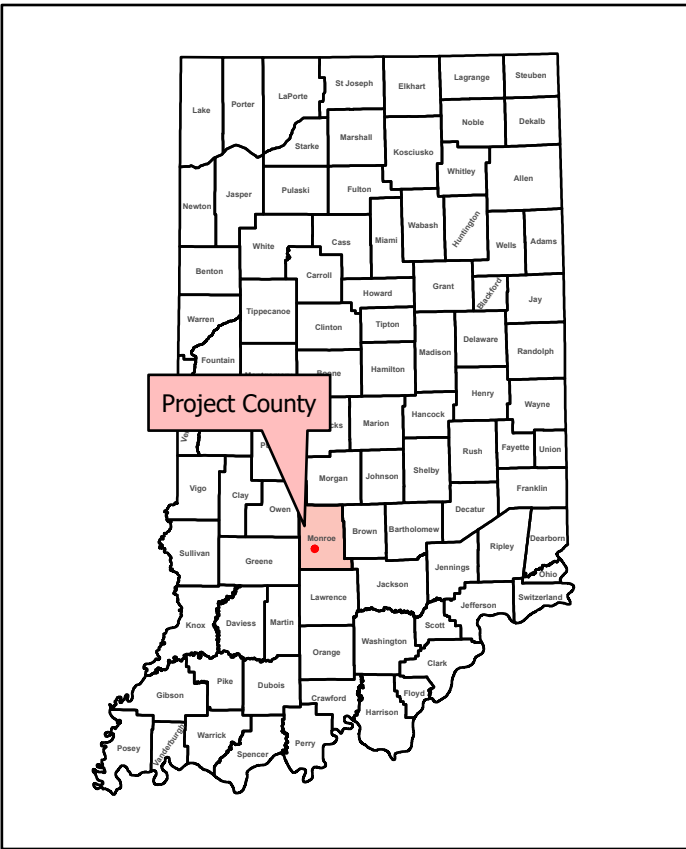
A handwritten signature in black ink, appearing to read 'K Wing', with a stylized flourish at the end.

Kristin Wing
Senior Environmental Analyst
Beam, Longest and Neff, LLC

Attachments:
Mailing List
Maps (Location, Topographic, Aerial, Karst, and NWI)
Ground-Level Photographs

EARLY COORDINATION MAILING LIST

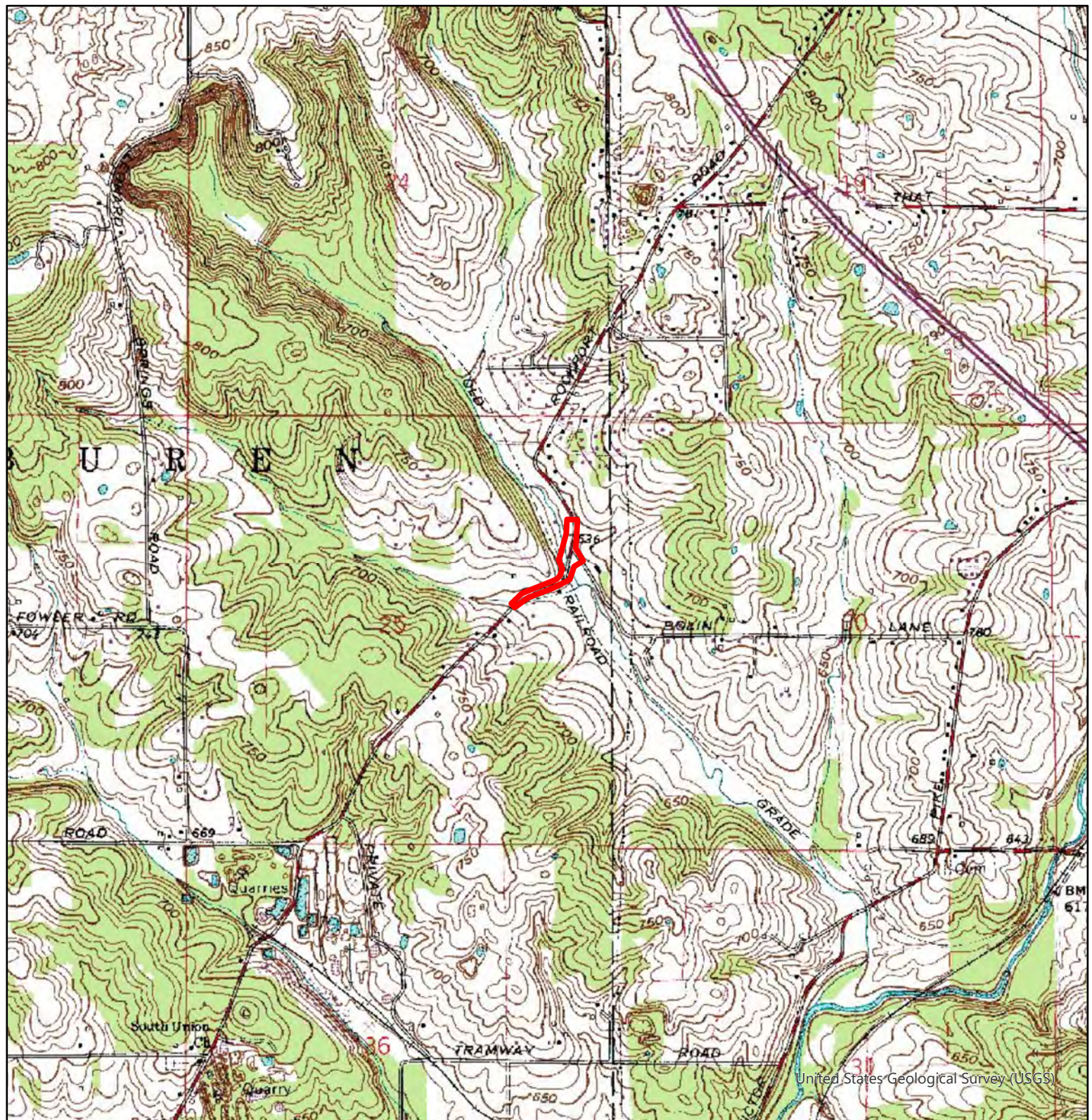
Federal Highway Administration Electronic Coordination – patrick.carpenter@dot.gov	Tyler Lewandowski, INDOT Aviation Electronic Coordination - tlewandowski@indot.in.gov
Regional Environmental Coordinator Midwest Regional Office - National Park Service Electronic Coordination – mwro_compliance@nps.gov	Justus McGill INDOT Ecology and Waterway Permitting Electronic Coordination – jmgill@indot.in.gov
Field Environmental Officer, Chicago Regional Officer U.S. Department of Housing and Urban Development Electronic Coordination – erik.r.sandsted@hud.gov	Chief, Groundwater Section Indiana Department of Environmental Management Electronic Coordination – IDEM's Wellhead Proximity Determinator www.in.gov/idem/cleanwater/pages/wellhead/
Field Supervisor U.S. Fish and Wildlife Service Bloomington, Indiana Field Office Electronic Coordination – robin_mcwilliams@fws.gov	Environmental Coordinator Indiana Department of Natural Resources Division of Fish and Wildlife Electronic Coordination – environmentalreview@dnr.in.gov
Ms. Deborah Snyder, U.S. Army Corps of Engineers Louisville District, Indianapolis Regulatory Office Electronic Coordination – regulatoryapplicationsLRL@usace.army.mil	Bloomington/Monroe County Metropolitan Planning Organization (MPO) Electronic Coordination – martipa@bloomington.in.gov
Forest Supervisor – Hoosier National Forest US Forest Service Electronic Coordination – kevin.amick@usda.gov	Jamie Neibel, Director of Emergency Management Monroe County Electronic Coordination – justinbaker@co.monroe.in.us
Commander, Eighth Coast Guard District Electronic Coordination – eric.washburn@uscg.mil	Monroe County Commissioners Electronic Coordination – commissionersoffice@co.monroe.in.us
State Conservationist Natural Resources Conservation Service Electronic Coordination – john.allen@in.usda.gov	Lisa Ridge, Highway Director Monroe County Highway Department Electronic Coordination – lrIDGE@co.monroe.in.us
David Dye Environmental Section Manager, INDOT Seymour District Electronic Coordination – ddye@indot.in.gov	Trohn Enright-Randolph, Monroe County Surveyor Electronic Coordination – Surveyoroffice@co.monroe.in.us
Matt Walker, PMP Project Manager, INDOT Seymour District Electronic Coordination – matwalker@indot.in.gov	Monroe County Planning Department Electronic Coordination - planningoffice@co.monroe.in.us
Indiana Geological and Water Survey Electronic Coordination https://igws.indiana.edu/eAssessment/	Tammy Behrman, Floodplain Administrator Monroe County Electronic Coordination – tbehrman@co.monroe.in.us



Legend

- Project Area
- County Outlines
- County Selection

Figure 1: Project Location Map
 Bridge Project
 Monroe County Bridge 308 on South
 Rockport Road over Branch Clear Creek
 Monroe County, Indiana
 Des 1902772
 Author: Kristin Wing



Source: gis.in.gov/arcgis/rest/services

0 1,000 2,000 4,000 Feet

Legend

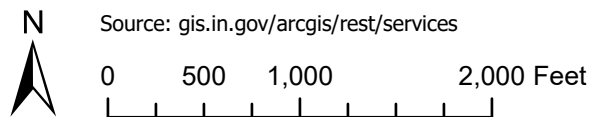
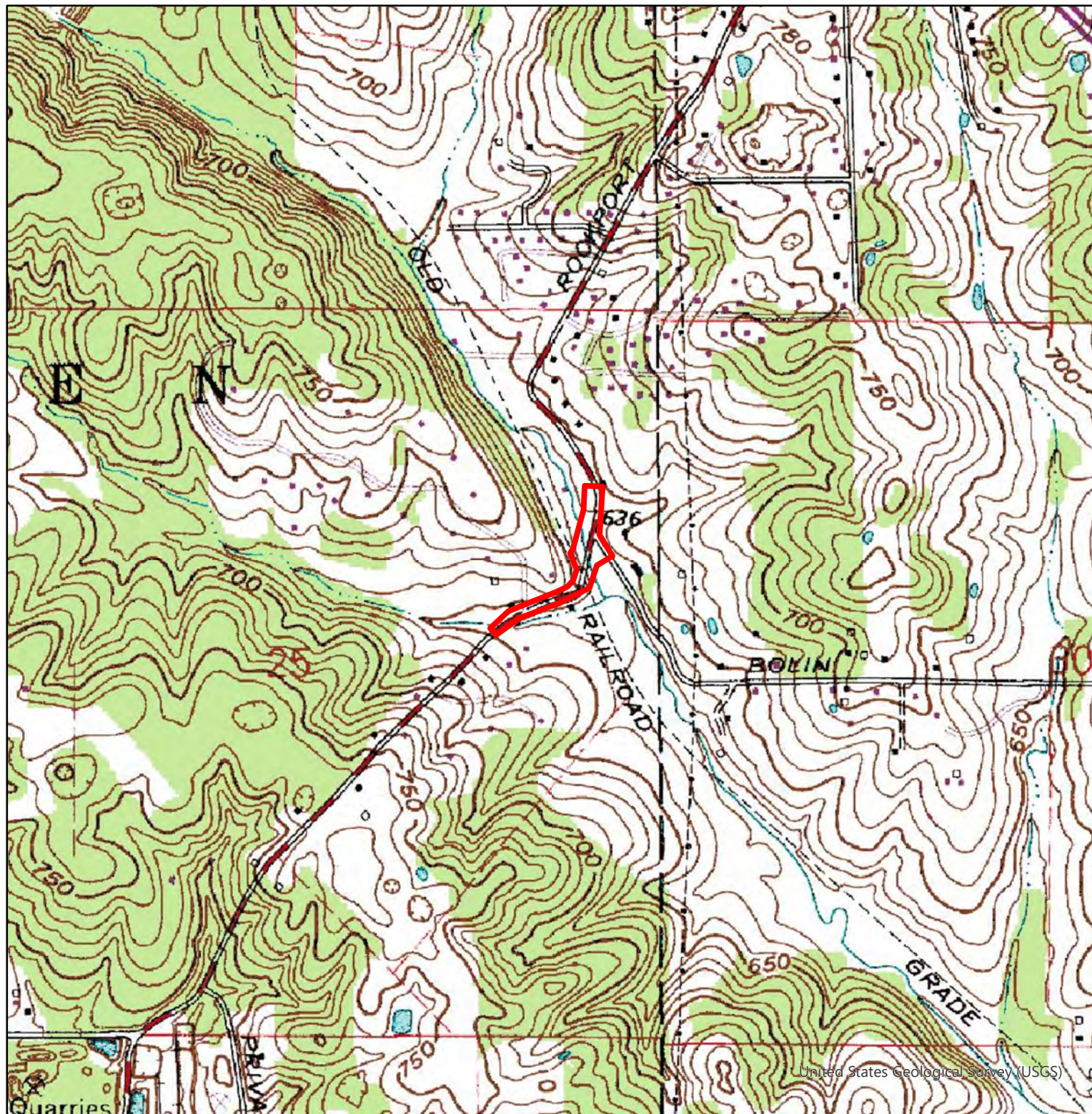
 Project Area

BLN
BEAM · LONGEST · NEFF

Figure 2: USGS Topo Map

Bridge Project
Monroe County Bridge 308 on South
Rockport Road over Branch Clear Creek
Monroe County, Indiana
Des 1902772

Author: Kristin Wing
Date Exported: 1/30/2023 8:42 AM



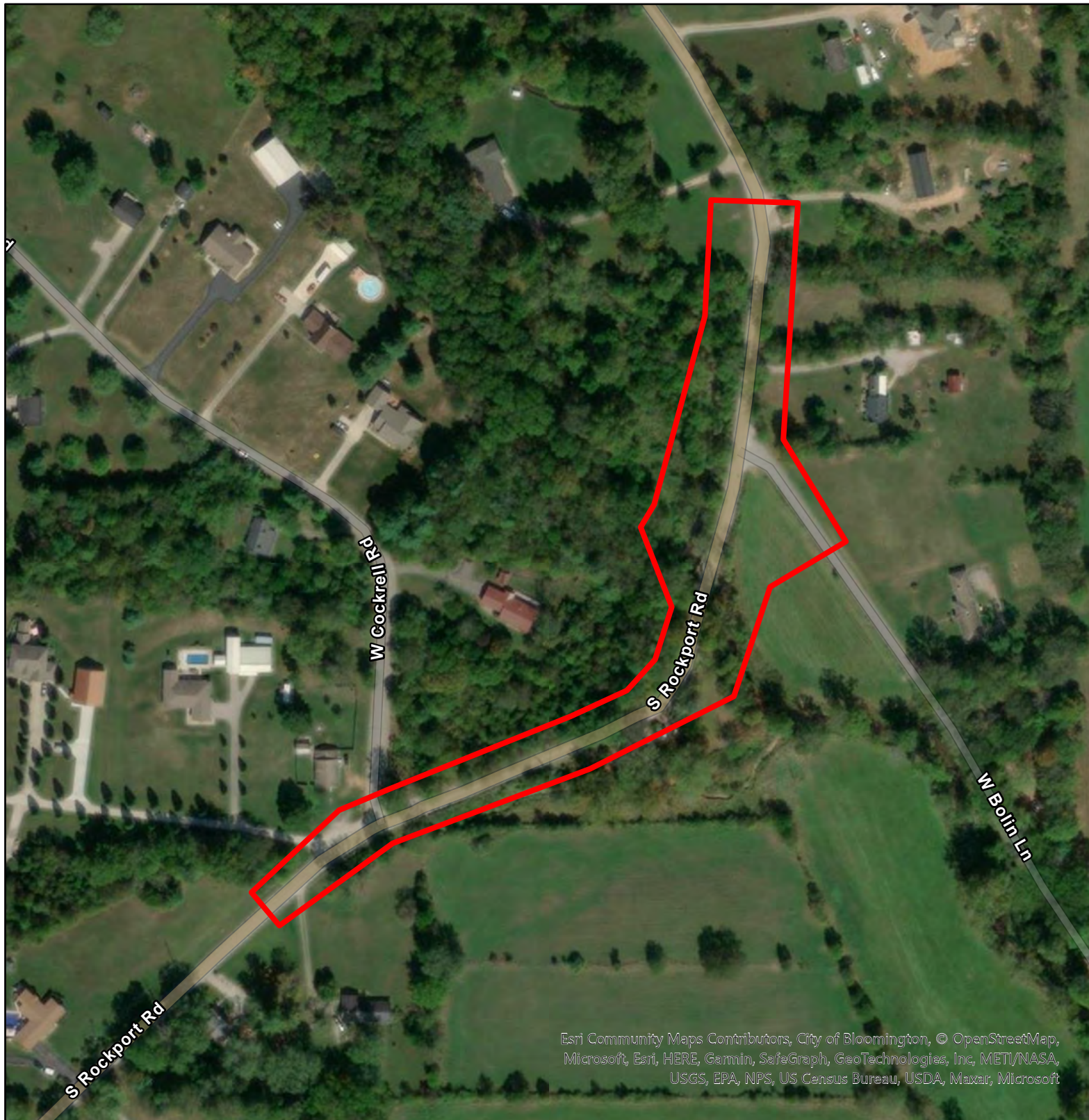
BLN
BEAM·LONGEST·NEFF

Legend

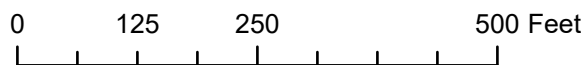
 Project Area

Figure 3: USGS Topo Map - Detail

Bridge Project
Monroe County Bridge 308 on South
Rockport Road over Branch Clear Creek
Monroe County, Indiana
Des 1902772
Author: Kristin Wing



Source: gis.in.gov/arcgis/rest/services

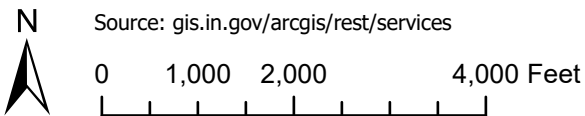
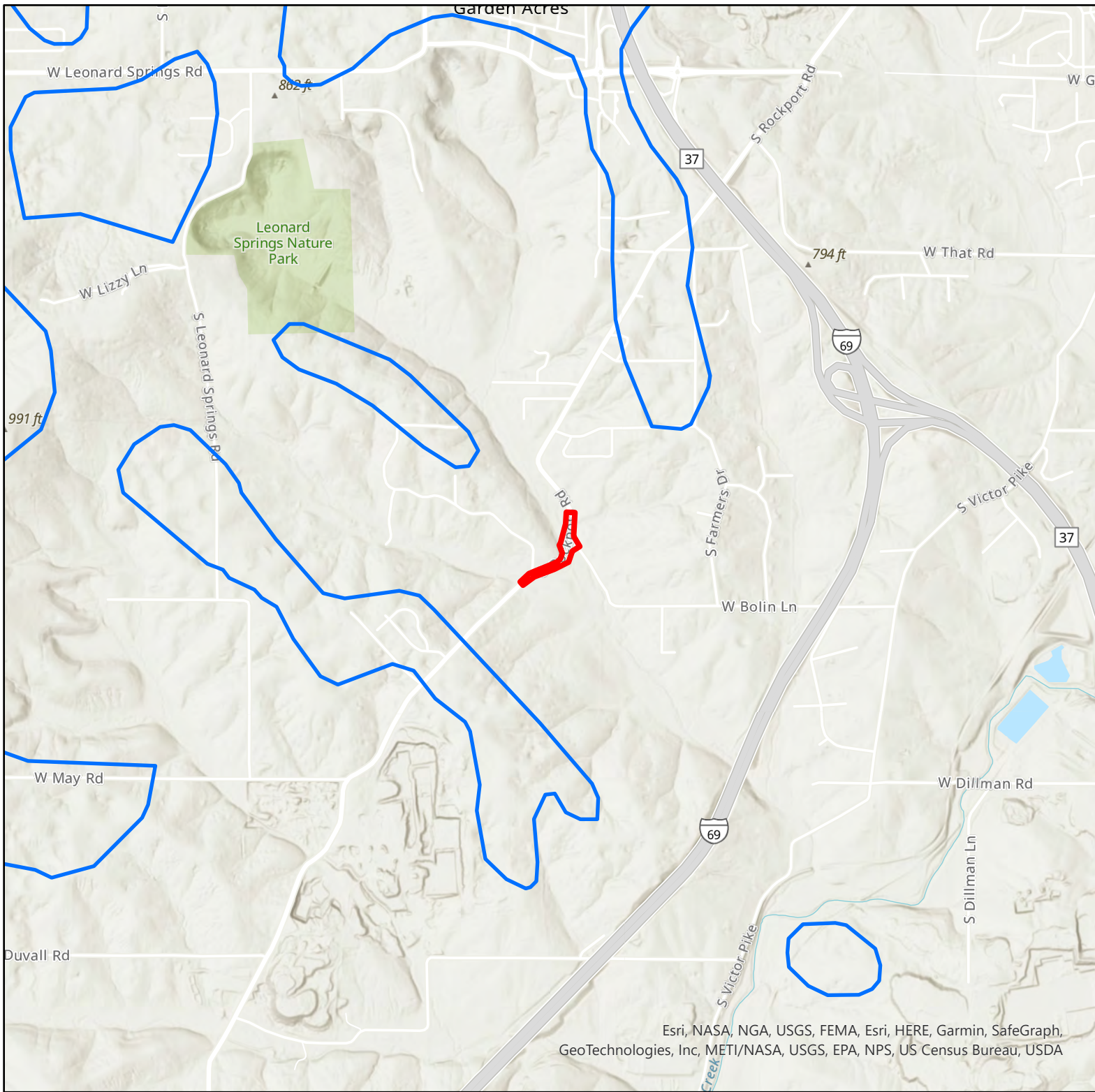


Legend

 Project Area

BLN
BEAM·LONGEST·NEFF

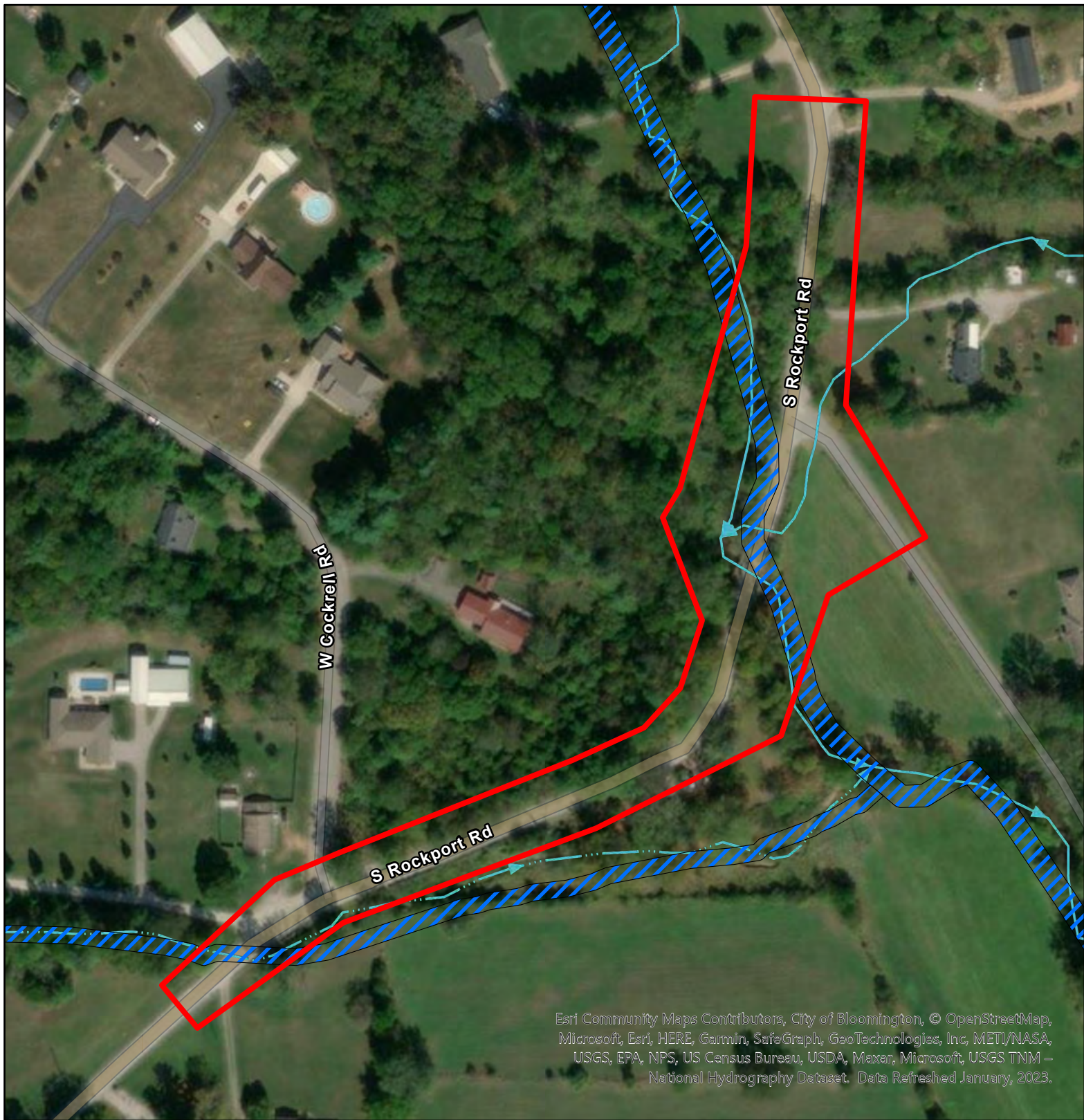
Figure 4: Aerial Imagery Map
Bridge Project
Monroe County Bridge 308 on South
Rockport Road over Branch Clear Creek
Monroe County, Indiana
Des 1902772
Author: Kristin Wing
Date Exported: 1/4/2023 9:33 AM



Legend

- Project Area
- Potential Karst Region

Figure 5: Karst Map
 Bridge Project
 Monroe County Bridge 308 on South
 Rockport Road over Branch Clear Creek
 Monroe County, Indiana
 Des 1902772
 Author: Kristin Wing



BLN
BEAM-LONGEST-NEFF

Figure 6: National Wetlands Inventory & National Hydrography Dataset Map

Bridge Project

Monroe County Bridge 308 on South

Rockport Road over Branch Clear Creek

Monroe County, Indiana

Des 1902772

Author: Kristin Wing

Date Exported: 1/4/2023 1:21 PM



Photo 1: North end of the project area on the east side of South Rockport Road facing south with Bolin Road on the left side of the photo.



Photo 2: North end of the project area on the east side of South Rockport Road facing north.



Photo 3: North end of the project area at the intersection of South Rockport Road and West Bolin Lane looking east.



Photo 4: Northeastern end of the project area looking west on West Bolin Lane.



Photo 5: Southwestern end of the project area on the north side of South Rockport Road looking northeast.



Photo 6: Middle of the project area looking northwest at the bridge (upstream). Branch Clear Creek can be seen.



Photo 7: Northern end of the project area area looking south downstream at Branch Clear Creek.



Photo 8: Looking southeast at the interior of the bridge.



February 21, 2023

Drew Myers
Senior Planner
Monroe County Historic Preservation Board of Review
501 N Morton St.
Bloomington, IN 47404

Re: Construction of an Accessible Sidewalk at Adams Street (from Kirkwood Avenue to Fountain Drive), Bloomington, Indiana
Community Development Block Grant Public Physical Improvement

Dear Mr. Myers,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archaeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project time frames, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Enclosed is a map that shows the project area and additional area of potential indirect effects. The project consists of the construction of an accessible sidewalk along the west side of Adams Street from Kirkwood Avenue to Fountain Drive. The project will also include a short section of new sidewalk along the south side of Fountain Drive adjacent to the City-owned parcel at the intersection of 8th Street at Fountain Drive. The project will include accessible curb ramps, incidental stormwater work, and other associated construction necessary to complete the sidewalk.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

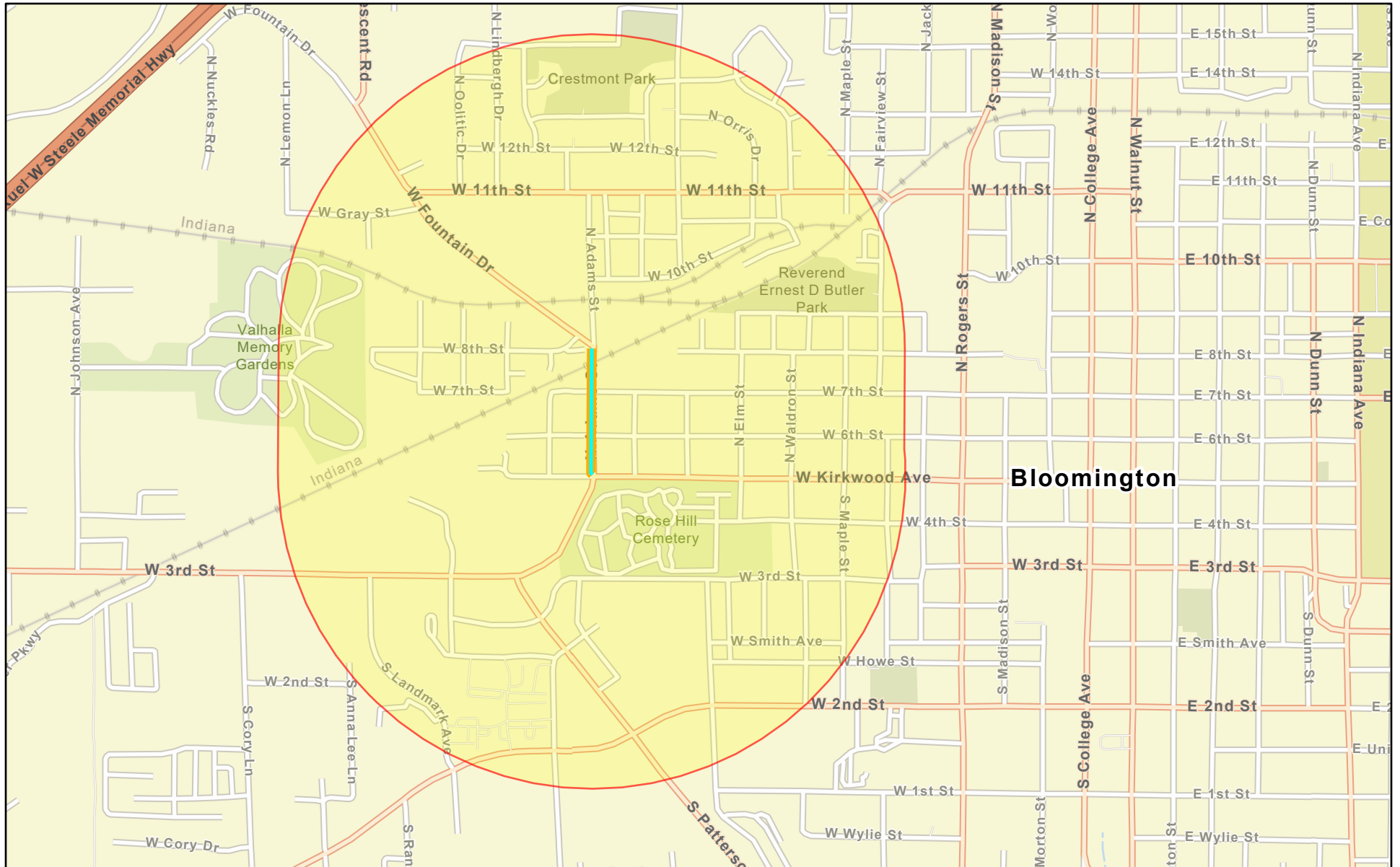
Sincerely,

A handwritten signature in cursive script, reading "Gloria M. Colom Braña".

Gloria M. Colom Braña
Historic Preservation Program Manager
City of Bloomington, Indiana

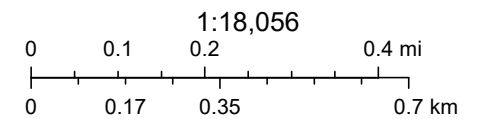
Cc: Department of Historic Preservation and Archeology, Department of Natural Resources,
Indiana

Sidewalk Location



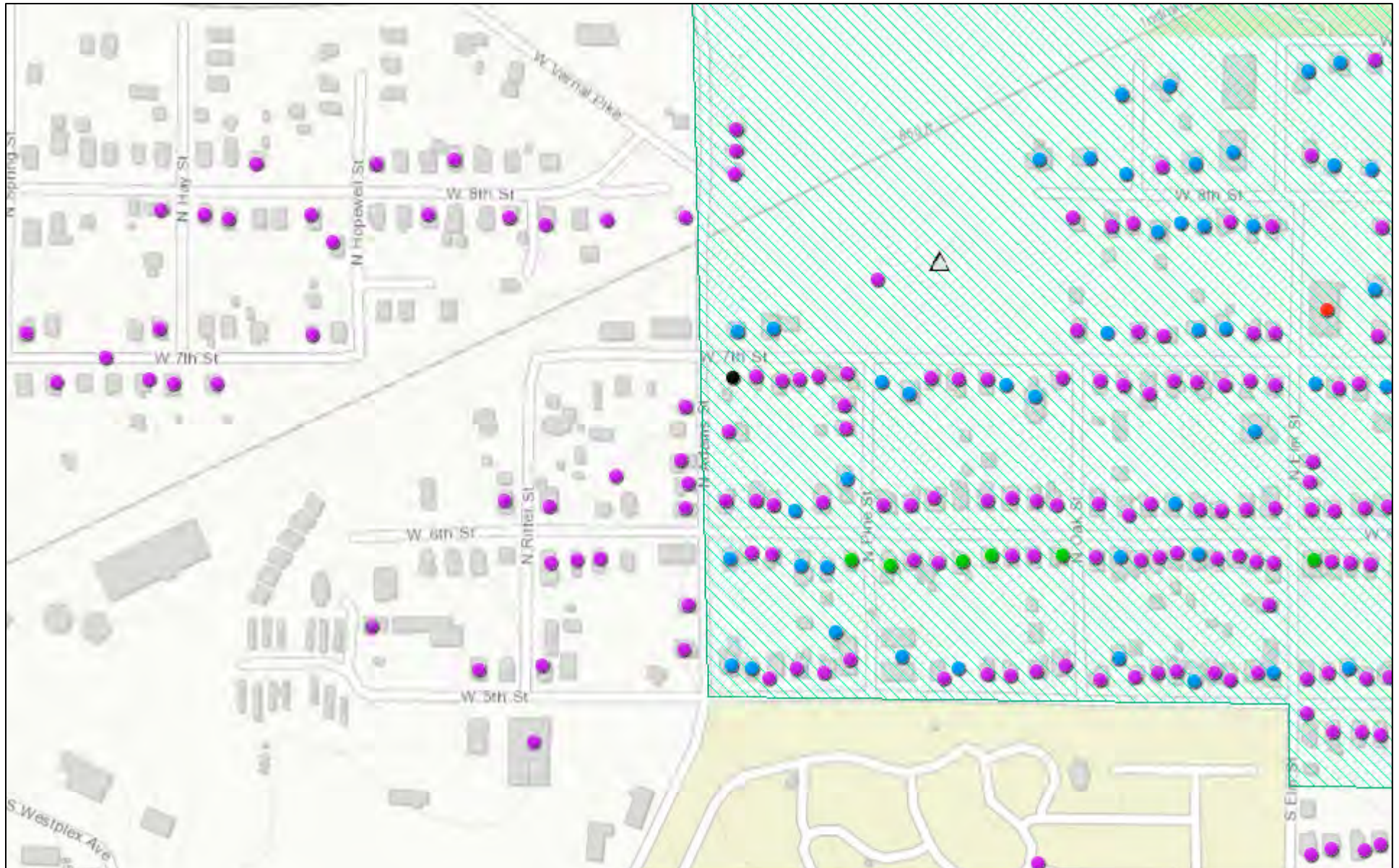
December 7, 2022

- Project Buffer
- COB Sidewalk










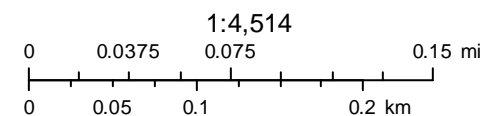
Esri Community Maps Contributors, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau,

N Adams St - SHAARD Historic Sites Survey



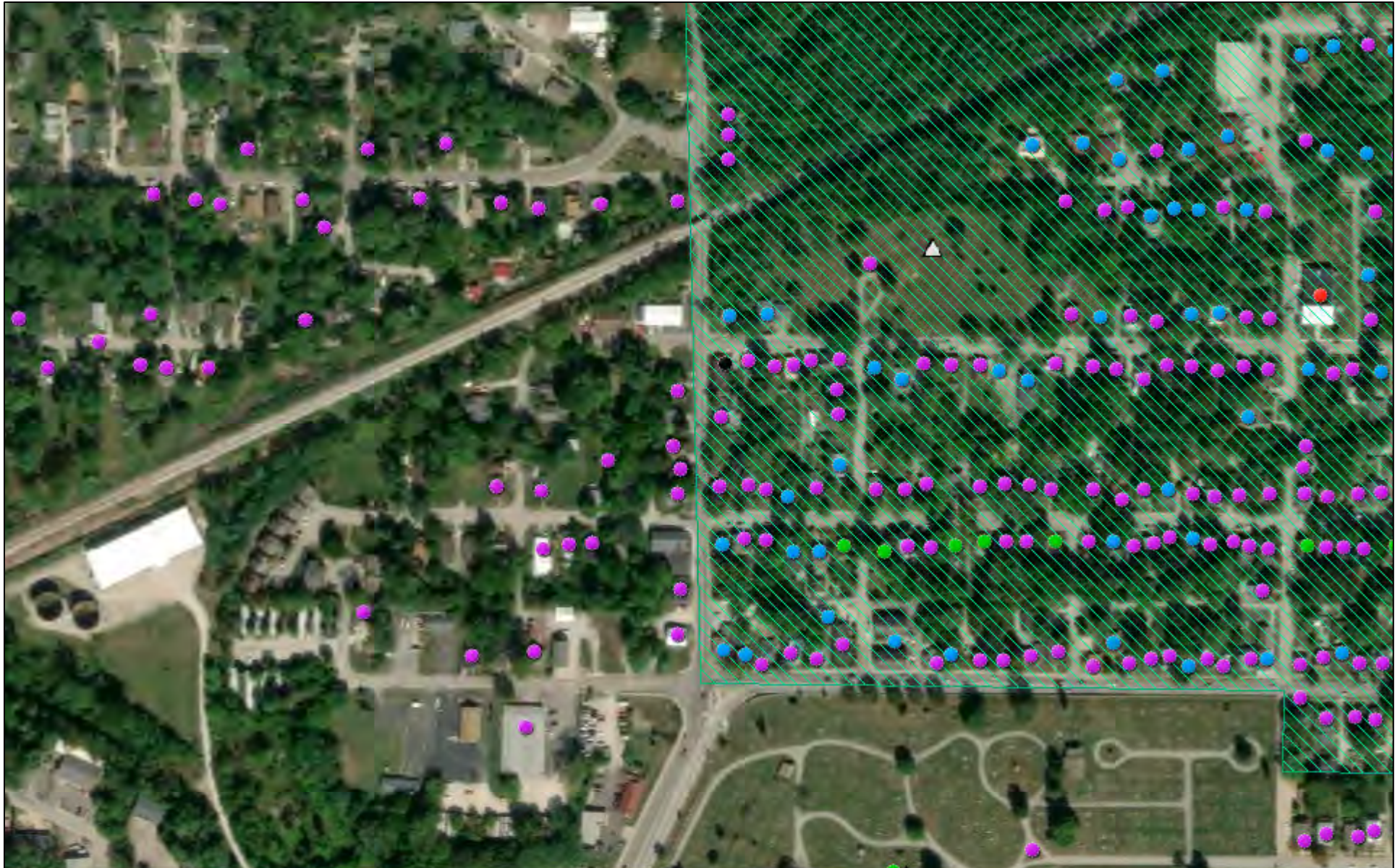
2/21/2023, 3:42:51 PM

-  Cemeteries
-  Notable
-  Non-Contributing
- County Survey Sites**
-  Contributing
-  Demolished
-  Outstanding
-  Historic Districts



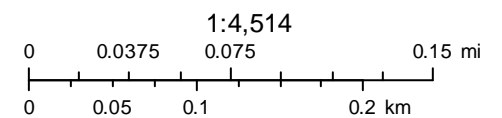
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri

N Adams St - SHAARD Historic Sites Survey



2/21/2023, 3:24:50 PM

- | | | |
|----------------------------|--------------------|------------------|
| Cemeteries | Notable | Non-Contributing |
| County Survey Sites | Contributing | Demolished |
| Outstanding | Historic Districts | |



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

IHSSI (County Survey)

Survey Number: 105-055-35915

Rating: Contributing

Historic Name: Church

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 103 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting**Northing**

538904

4335406

Common Name: -

Category: Building

Visible?: ☐Historic District?: ☐

Historic District Name: -

Ownership: private

Use: PresentResidence: ☐Commercial: ☐Vacant: ☒Other: ☐Other: ☐**Use: Past**Residence: ☐Commercial: ☐Vacant: ☐Other: ☒

Describe: church

Other: ☐**Surveys/Legal Protections**National Register: ☐State Register: ☐Hoosier Homestead: ☐National Historic
Landmark: ☐Local Designation: ☐Protective
Covenants: ☐Other: ☐

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure TypeBridge: ☐Cemetery: ☐Other: ☒

Time Period(s): c. 1935

Condition: Fair
Year Demolished: -
Integrity: Slightly Altered
Date Moved: -
Alterations: -
Style: -
Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: ☐ Roof: ☒
Other: ☒ Description: doors

Additions

Siding: ☐ Wings: ☐
Other: ☒ Description: entry portico
Removals: doors

Stories

1: ☒ 1 1/2: ☐ 2: ☐ 2 1/2: ☐
Other: ☐

Plan

Rectangular: ☒ Polygonal: ☐
L: ☐ T: ☐ X: ☐ U: ☐
Irregular: ☐ Other: ☐

Depth

Single-Pile: ☐ Double-Pile: ☐
Irregular/Massed: ☒ Other: ☐

Number of Bays: -
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: ☐ Front-Gable: ☒ Cross-Gable: ☐

Hip: ☐Pyramidal: ☐Mansard: ☐Other: ☐

Material: ASPHALT

Features: parapets on gable ends, exterior brick chimney

PorchesFront: ☒Side: ☐Back: ☐

Notes: See #29

Openings:

1/1 double hung wood windows with metal storms, glass block windows in shape of a cross, rectangular windows in basement level, glazed metal panel double doors.

Interior:

-

Outbuildings:

-

Notes: -

Statement of Significance: -**Architectural Description:**

Front porch with gable front roof over front door, wood siding, partially enclosed, concrete floor, concrete block half walls/column, concrete steps, wood ramp.

IHSSI (County Survey)



Survey Number: 105-055-35916

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 113 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting**Northing**

538903

4335435

Common Name: -

Category: Building

Visible?: ☐Historic District?: ☐

Historic District Name: -

Ownership: private

Use: PresentResidence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Use: Past**Residence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Surveys/Legal Protections**National Register: ☐State Register: ☐Hoosier Homestead: ☐National Historic
Landmark: ☐Local Designation: ☐Protective
Covenants: ☐Other: ☐

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure TypeBridge: ☐Cemetery: ☐Other: ☒

Time Period(s): c. 1900

Condition: Good
Year Demolished: -
Integrity: Slightly Altered
Date Moved: -
Alterations: -
Style: -
Type/Vernacular: Pyramid roof cottage

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: ☐ Roof: ☒
Other: ☒ Description: door

Additions

Siding: ☒ Wings: ☐
Other: ☒ Description: screened porch
Removals: door

Stories

1: ☒ 1 1/2: ☐ 2: ☐ 2 1/2: ☐
Other: ☐

Plan

Rectangular: ☒ Polygonal: ☐
L: ☐ T: ☐ X: ☐ U: ☐
Irregular: ☐ Other: ☐

Depth

Single-Pile: ☐ Double-Pile: ☐
Irregular/Massed: ☒ Other: ☐

Number of Bays: 2
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: ☐ Front-Gable: ☐ Cross-Gable: ☐

Hip: ☐Pyramidal: ☒Mansard: ☐Other: ☐

Material: ASPHALT

Features: brick chimney

PorchesFront: ☒Side: ☐Back: ☐

Notes: hipped roof across north bay, wood frame screened in, wood floor

Openings:

1/1 double hung wood windows with metal storms, vinyl slider windows, metal slat windows, vinyl awning windows, glazed metal panel door.

Interior:

-

Outbuildings:

-

Notes: -

Statement of Significance: -**Architectural Description:** -

IHSSI (County Survey)



Survey Number: 105-055-35979

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 201 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting**Northing**

538905

4335484

Common Name: -

Category: Building

Visible?: ☐Historic District?: ☐

Historic District Name: -

Ownership: private

Use: PresentResidence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Use: Past**Residence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Surveys/Legal Protections**National Register: ☐State Register: ☐Hoosier Homestead: ☐National Historic
Landmark: ☐Local Designation: ☐Protective
Covenants: ☐Other: ☐

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure TypeBridge: ☐Cemetery: ☐Other: ☒

Time Period(s): c. 1930

Condition: Good
Year Demolished: -
Integrity: Slightly Altered
Date Moved: -
Alterations: -
Style: -
Type/Vernacular: California Bungalow

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: ☐ Roof: ☒
Other: ☐

Additions

Siding: ☒ Wings: ☒
Other: ☐
Removals: -

Stories

1: ☒ 1 1/2: ☐ 2: ☐ 2 1/2: ☐
Other: ☐

Plan

Rectangular: ☐ Polygonal: ☐
L: ☐ T: ☐ X: ☐ U: ☐
Irregular: ☐ Other: ☐

Depth

Single-Pile: ☐ Double-Pile: ☐
Irregular/Massed: ☒ Other: ☐

Number of Bays: 2
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: ☐ Front-Gable: ☒ Cross-Gable: ☐

Hip: ☐Pyramidal: ☐Mansard: ☐Other: ☐

Material: ASPHALT

Features: brick chimney

PorchesFront: ☒Side: ☐Back: ☒

Notes: See #29

Openings:

4/1, 3/1, 2/2, and 1/1 double hung wood windows with metal storms, rectangular wood windows in basement level, glazed wood panel doors, front door has glazed metal storm.

Interior:

-

Outbuildings:

-

Notes: -

Statement of Significance: -**Architectural Description:**

Front porch with hipped roof across main elevation, wood half columns, metal aluminum sided half walls, concrete floor. Rear wood landing and stairs at rear door with wood railing.

IHSSI (County Survey)



Survey Number: 105-055-35980

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 221 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting**Northing**

538903

4335501

Common Name: -

Category: Building

Visible?: ☐Historic District?: ☐

Historic District Name: -

Ownership: private

Use: PresentResidence: ☐Commercial: ☐Vacant: ☒Other: ☐Other: ☐**Use: Past**Residence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Surveys/Legal Protections**National Register: ☐State Register: ☐Hoosier Homestead: ☐National Historic
Landmark: ☐Local Designation: ☐Protective
Covenants: ☐Other: ☐

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: Yes

Explanation: vacant, deteriorating

Number of
Contributing 1
Resources:Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure TypeBridge: ☐Cemetery: ☐Other: ☒

Time Period(s): c. 1900

Condition: Fair
Year Demolished: -
Integrity: Slightly Altered
Date Moved: -
Alterations: -
Style: -
Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: ☐ Roof: ☒
Other: ☒ Description: door

Additions

Siding: ☒ Wings: ☒
Other: ☐
Removals: door

Stories

1: ☒ 1 1/2: ☐ 2: ☐ 2 1/2: ☐
Other: ☐

Plan

Rectangular: ☐ Polygonal: ☐
L: ☐ T: ☐ X: ☐ U: ☐
Irregular: ☐ Other: ☐

Depth

Single-Pile: ☐ Double-Pile: ☐
Irregular/Massed: ☒ Other: ☐

Number of Bays: 3
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: ☐ Front-Gable: ☒ Cross-Gable: ☐

Hip: ☐Pyramidal: ☐Mansard: ☐Other: ☐

Material: ASPHALT

Features: cross gable addition on south side

PorchesFront: ☒Side: ☐Back: ☐

Notes: See #29

Openings:

1/1 double hung wood windows with metal storms, rectangular windows in basement level, metal panel doors.

Interior:

-

Outbuildings:

-

Notes: -

Statement of Significance: -**Architectural Description:**

Front porch with gable front roof across main elevation, concrete block columns and half walls, concrete floor.

IHSSI (County Survey)



Survey Number: 105-055-35981

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 223 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting**Northing**

538902

4335523

Common Name: -

Category: Building

Visible?: ☐Historic District?: ☐

Historic District Name: -

Ownership: private

Use: PresentResidence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Use: Past**Residence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Surveys/Legal Protections**National Register: ☐State Register: ☐Hoosier Homestead: ☐National Historic
Landmark: ☐Local Designation: ☐Protective
Covenants: ☐Other: ☐

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure TypeBridge: ☐Cemetery: ☐Other: ☒

Time Period(s): c. 1900

Condition: Fair
Year Demolished: -
Integrity: Severely Altered
Date Moved: -
Alterations: -
Style: -
Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: ☐ Roof: ☒
Other: ☒ Description: door

Additions

Siding: ☒ Wings: ☒
Other: ☒ Description: encl porch
Removals: door

Stories

1: ☒ 1 1/2: ☐ 2: ☐ 2 1/2: ☐
Other: ☐

Plan

Rectangular: ☐ Polygonal: ☐
L: ☐ T: ☐ X: ☐ U: ☐
Irregular: ☐ Other: ☐

Depth

Single-Pile: ☐ Double-Pile: ☐
Irregular/Massed: ☒ Other: ☐

Number of Bays: 3
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: ☐ Front-Gable: ☐ Cross-Gable: ☐

Hip: ☒Pyramidal: ☐Mansard: ☐Other: ☐

Material: ASPHALT

Features: brick chimney, cinder block chimney

PorchesFront: ☒Side: ☐Back: ☐

Notes: See #29

Openings:

1/1 double hung wood windows with metal storms, rectangular wood windows, 1/1 double hung vinyl windows, vinyl slider window, glazed metal panel doors with glazed metal storms.

Interior:

-

Outbuildings:

-

Notes: -

Statement of Significance: -

Architectural Description: Front porch under main roof, vinyl sided frieze, screened in wood frame, across main bay, wood ramp with wood railing.

IHSSI (County Survey)



Survey Number: 105-055-35982

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 231 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting**Northing**

538901

4335562

Common Name: -

Category: Building

Visible?: ☐Historic District?: ☐

Historic District Name: -

Ownership: private

Use: PresentResidence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Use: Past**Residence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Surveys/Legal Protections**National Register: ☐State Register: ☐Hoosier Homestead: ☐National Historic
Landmark: ☐Local Designation: ☐Protective
Covenants: ☐Other: ☐

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure TypeBridge: ☐Cemetery: ☐Other: ☒

Time Period(s): c. 1900

Condition: Good

Year Demolished: -

Integrity: Slightly Altered

Date Moved: -

Alterations: -

Style: -

Type/Vernacular: -

Architect/Builder**Architectural Firm****Affiliation**

ReplacementWindows: ☒Roof: ☒Other: ☐**Additions**Siding: ☒Wings: ☒Other: ☐

Removals: -

Stories1: ☒1 1/2: ☐2: ☐2 1/2: ☐Other: ☐**Plan**Rectangular: ☒Polygonal: ☐L: ☐T: ☐X: ☐U: ☐Irregular: ☐Other: ☐**Depth**Single-Pile: ☐Double-Pile: ☐Irregular/Massed: ☒Other: ☐**Number of Bays:** 2**Foundation:** CONCRETE**Foundation Description:** -**Walls Description:** -**Other Walls:** -**Roof**Side-Gable: ☐Front-Gable: ☒Cross-Gable: ☐

Hip: ☐Pyramidal: ☐Mansard: ☐Other: ☐

Material: ASPHALT

Features: brick chimney

PorchesFront: ☐Side: ☒Back: ☐

Notes: under main roof, across north bay, wood column, concrete floor

Openings:

1/1 double and single, double hung wood windows, some with metal storms, glazed wood panel door with glazed metal storm.

Interior:

-

Outbuildings:

-

Notes: -

Statement of Significance: -**Architectural Description:** -

IHSSI (County Survey)



Survey Number: 105-055-35759

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 1301 8th St

City: Bloomington

Location Notes: -

Coordinates

Easting**Northing**

538889

4335698

Common Name: -

Category: Building

Visible?: ☐Historic District?: ☐

Historic District Name: -

Ownership: private

Use: PresentResidence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Use: Past**Residence: ☒Commercial: ☐Vacant: ☐Other: ☐Other: ☐**Surveys/Legal Protections**National Register: ☐State Register: ☐Hoosier Homestead: ☐National Historic
Landmark: ☐Local Designation: ☐Protective
Covenants: ☐Other: ☐

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:Number of
Non-
contributing 1
Resources:

Environment: Urban

Bibliography: -

Structure TypeBridge: ☐Cemetery: ☐Other: ☒

Time Period(s): c. 1940

Condition: Good
Year Demolished: -
Integrity: Slightly Altered
Date Moved: -
Alterations: -
Style: -
Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: ☐ Roof: ☒
Other: ☐

Additions

Siding: ☒ Wings: ☐
Other: ☐
Removals: -

Stories

1: ☒ 1 1/2: ☐ 2: ☐ 2 1/2: ☐
Other: ☐

Plan

Rectangular: ☒ Polygonal: ☐
L: ☐ T: ☐ X: ☐ U: ☐
Irregular: ☐ Other: ☐

Depth

Single-Pile: ☐ Double-Pile: ☐
Irregular/Massed: ☒ Other: ☐

Number of Bays: 2
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: ☐ Front-Gable: ☒ Cross-Gable: ☐

Hip: ☐ Pyramidal: ☐ Mansard: ☐
Other: ☐
Material: ASPHALT
Features: -

Porches

Front: ☒ Side: ☐ Back: ☐

Notes: shed roof, over front door, metal columns, concrete floor

Openings: 1/1 double hung wood windows, some with metal storms, glazed wood panel door with glazed metal storm.

Interior: -

Outbuildings: Shed

Notes: -

Statement of Significance: -

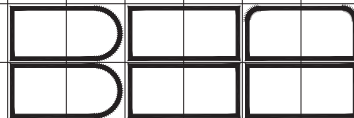
Architectural Description: -

PROPOSED: ADAMS STREET SIDEWALK

N ADAMS STREET
BLOOMINGTON, IN. 47404
FROM W. KIRKWOOD AVE. TO THE
INTERSECTION OF W. 8TH ST.
AND W. FOUNTAIN DR.

UTILITY CONTACT INFORMATION

GAS	SEWER AND WATER	ELECTRIC
VECTREN 205 S. WILSON ST. BLOOMINGTON, IN 47401 DOUG ANDERSON (812)330-4009	CITY OF BLOOMINGTON UTILITIES 600 E. MILLER DR. BLOOMINGTON, IN 47402 NANCY AUSTON (812)349-3689	Duke Energy 1619 N. DUTCHMAN RD KOKOMO, INDIANA 46902 JIM SHELDES (317)375-2071
TELEPHONE	CABLE TELEVISION	UNDERGROUND UTILITY LOCATION
AT&T P.O. BOX 56 BLOOMINGTON, IN 47402 BRENT MCABEE (812)334-4521	COMCAST 2450 SOUTH HENDERSON STREET BLOOMINGTON, IN 47404 SCOTT TEMPLETON (812)355-7822	INDIANA UNDERGROUND PLANT PROTECTION 1-(800)382-5544



BYNUM FANYO & ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana 47404 (812) 332-8030

SHEET INDEX

SHEET NO.	SHEET NO.
C101	GENERAL NOTES & LEGENDS
C201	TYPICAL CROSS-SECTION
C301-309	PLAN AND PROFILE
C401-403	DETAILS
C501-C513	R-1 CROSS SECTIONS
C601-C604	RIGHT-OF-WAY ACQUISITION



VICINITY/LOCATION MAP
NOT TO SCALE



DIAL '811' BEFORE YOU DIG
PER INDIANA STATE LAW ICS-1-26
IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE
UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS
BEFORE COMMENCING WORK.

architecture
civil engineering
planning

OWNER/DEVELOPER:
CITY OF BLOOMINGTON
401 N MORTON ST.
BLOOMINGTON, IN. 47404

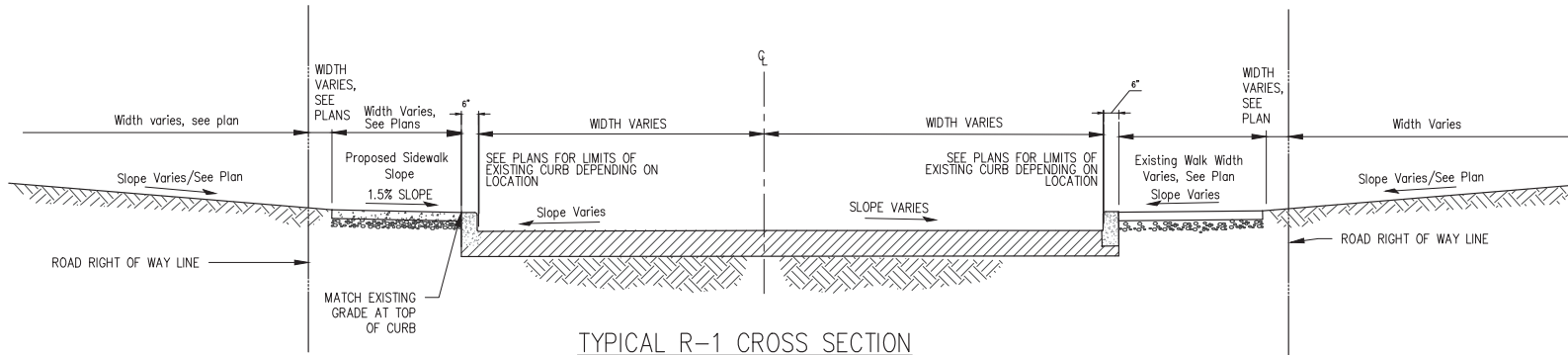
THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF
TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL
DEVICES & CITY OF BLOOMINGTON UTILITIES STANDARD
SPECIFICATIONS IS TO BE USED WITH THESE PLANS



Certified By:
Jeffrey S. Fanyo
JEFFREY S. FANYO, P.E.
IND. REG. NO. 18283

Revisions

ADAMS STREET SIDEWALK
PROJECT NO. 402101



NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BYNUM FANTO ASSOCIATES, INC.

528 North Walnut Street
Bloomington, Indiana 47404
(812) 332-2800 (Fax)

No. 18283
STATE OF INDIANA
Professional Engineer

certified by: *[Signature]*

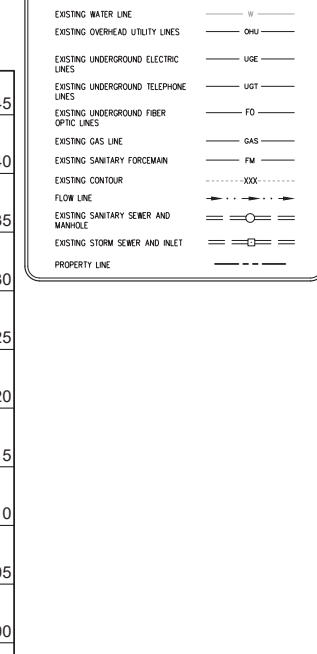
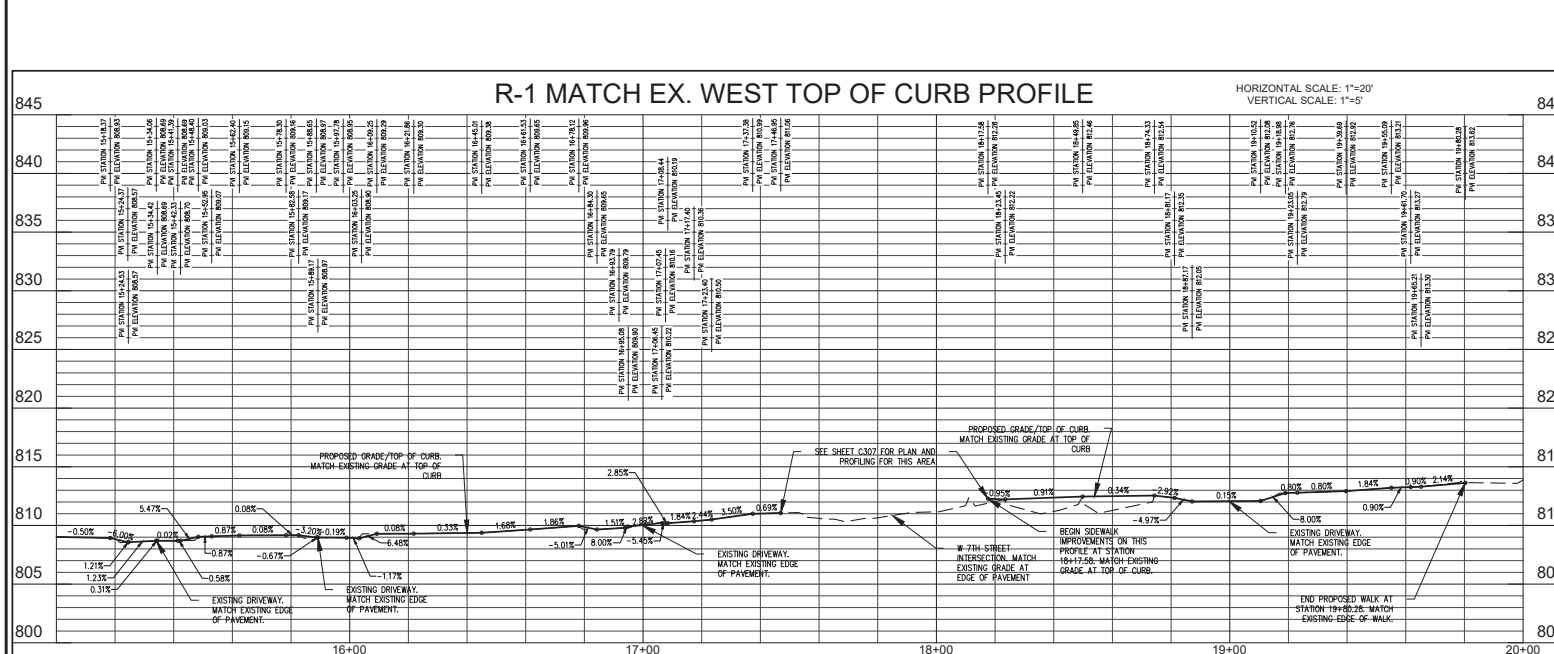
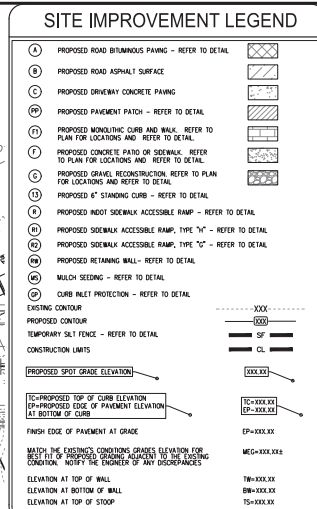
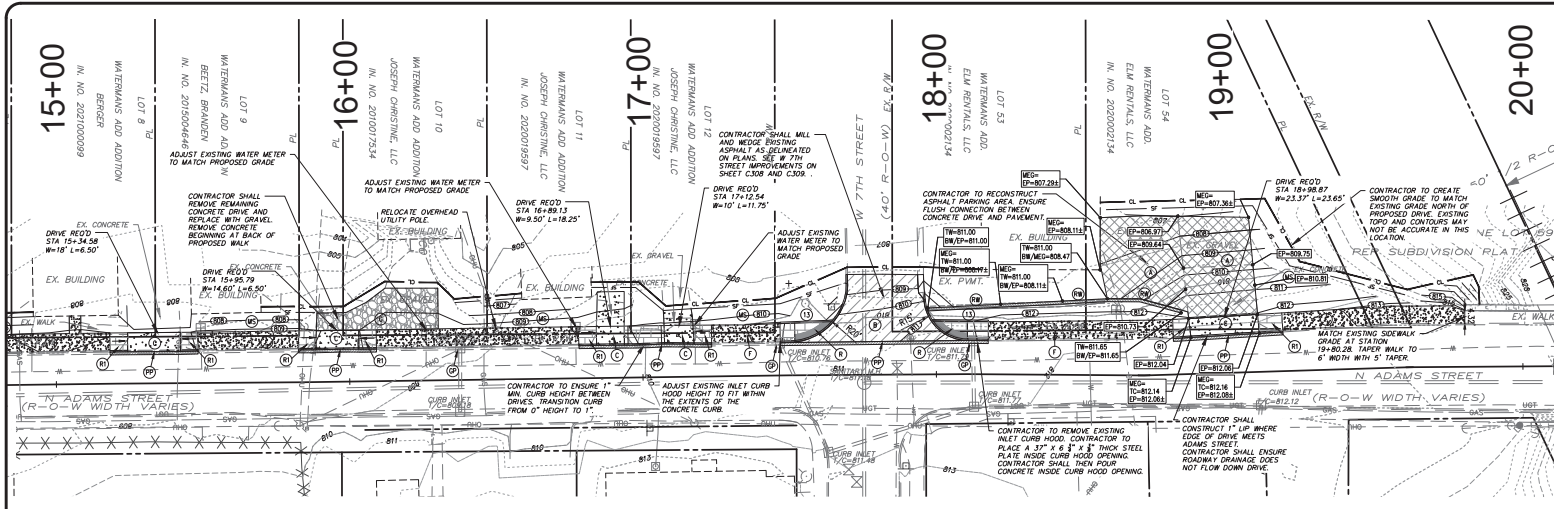
PROPOSED

ADAMS STREET SIDEWALK

NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1 TYPICAL CROSS SECTION

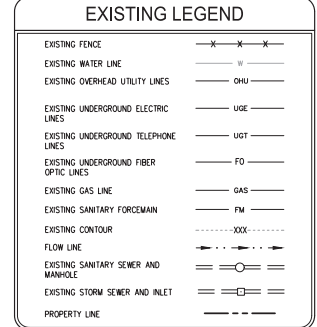
designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C201
project no.: 402101



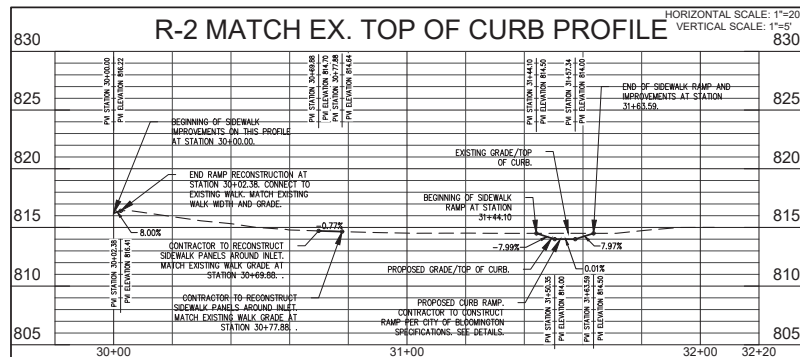
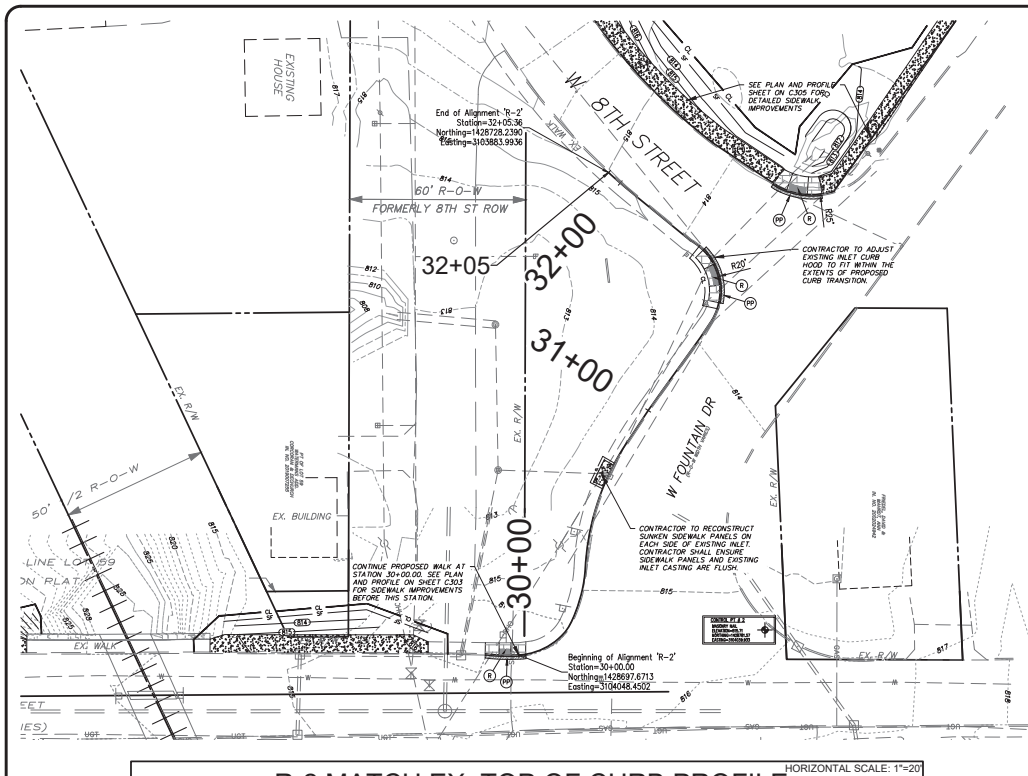
revisions:

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designed by: AJW
drawn by: AJW
checked by: JWF
sheet no: C302
project no: 402101



title: R-1 PLAN AND
 PROFILE
 designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C303
 project no.: 402101



SITE IMPROVEMENT LEGEND

- (1) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
 - (2) PROPOSED ROAD ASPHALT SURFACE
 - (3) PROPOSED DRIVEWAY CONCRETE PAVING
 - (4) PROPOSED PAVEMENT PATCH - REFER TO DETAIL
 - (5) PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (6) PROPOSED CONCRETE PAVEMENT OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (7) PROPOSED GRATEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (8) PROPOSED 4" STANDING CURB - REFER TO DETAIL
 - (9) PROPOSED INDOOR SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
 - (10) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "H" - REFER TO DETAIL
 - (11) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "G" - REFER TO DETAIL
 - (12) PROPOSED RETAINING WALL - REFER TO DETAIL
 - (13) MULCH SEEDING - REFER TO DETAIL
 - (14) CURB INLET PROTECTION - REFER TO DETAIL
- EXISTING CONTOUR: -XXX-
- PROPOSED CONTOUR: -000-
- TEMPORARY SALT FENCE - REFER TO DETAIL: -SF-
- CONSTRUCTION LIMITS: -CL-
- PROPOSED SPOT GRADE ELEVATION: XXX.XX
- TC=PROPOSED TOP OF CURB ELEVATION
EP=PROPOSED EDGE OF PAVEMENT ELEVATION
AT BOTTOM OF CURB: EP-XXX.XX
- FINISH EDGE OF PAVEMENT AT GRADE: EP-XXX.XX
- MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR BEST USE OF PROPOSED SIDEWALK IMPROVEMENTS. CONSTRUCTION, NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ELEVATION AT TOP OF WALL: TW-XXX.XX
ELEVATION AT BOTTOM OF WALL: BW-XXX.XX
ELEVATION AT TOP OF STOOP: TS-XXX.XX
ELEVATION AT BOTTOM OF STOOP: BS-XXX.XX

EXISTING LEGEND

- EXISTING FENCE: -X-X-X-
- EXISTING WATER LINE: -W-
- EXISTING OVERHEAD UTILITY LINES: -OHU-
- EXISTING UNDERGROUND ELECTRIC LINES: -UGE-
- EXISTING UNDERGROUND TELEPHONE LINES: -UGT-
- EXISTING UNDERGROUND FIBER OPTIC LINES: -FO-
- EXISTING GAS LINE: -GAS-
- EXISTING SANITARY FORCEMAIN: -FM-
- EXISTING CONTOUR: -XXX-
- FLOW LINE: ->->->-
- EXISTING SANITARY SINKER AND MANHOLE: -S-S-
- EXISTING STORM SINKER AND INLET: -S-S-
- PROPERTY LINE: -D-D-

NOTE TO CONTRACTOR

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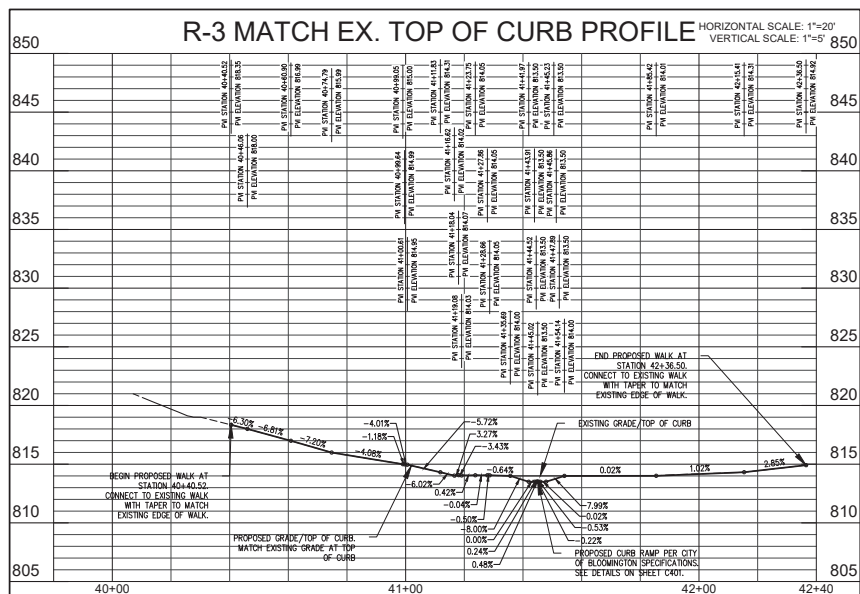
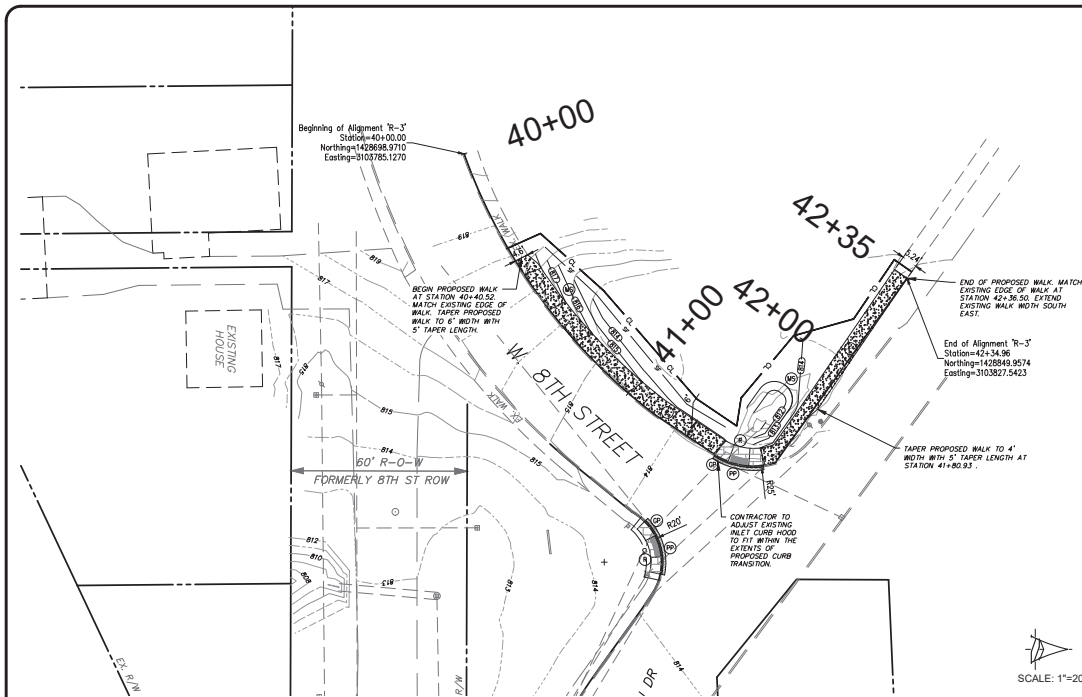
revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING
Bloomington, Indiana
(812) 339-2860 (Fax)

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W KIRKWOOD AVE. TO THE INTERSECTION
OF W 8TH ST. AND W FOUNTAIN DR.

title: R-2 PLAN AND
PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C304
project no: 402101



SITE IMPROVEMENT LEGEND

- (A) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
 - (B) PROPOSED ROAD ASPHALT SURFACE
 - (C) PROPOSED DRIVEWAY CONCRETE PAVING
 - (CP) PROPOSED PAVEMENT PATCH - REFER TO DETAIL
 - (T) PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (I) PROPOSED CONCRETE PAVED OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (C) PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (S) PROPOSED 6" STANDING CURB - REFER TO DETAIL
 - (A) PROPOSED 1000' SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
 - (B) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "V" - REFER TO DETAIL
 - (C) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL
 - (M) PROPOSED RETAINING WALL - REFER TO DETAIL
 - (M) MULCH SEEDING - REFER TO DETAIL
 - (C) CURB INLET PROTECTION - REFER TO DETAIL
- EXISTING CONTOUR
PROPOSED CONTOUR
TEMPORARY SALT FENCE - REFER TO DETAIL
CONSTRUCTION LIMITS
- PROPOSED SPOT GRADE ELEVATION
XXX.XX
- EXISTING CONTOUR
XXX.XX
PROPOSED TOP OF CURB ELEVATION
TP-XXX.XX
PROPOSED EDGE OF PAVEMENT ELEVATION
EP-XXX.XX
FINISH EDGE OF PAVEMENT AT GRADE
EP-XXX.XX
MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR
CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES
ELEVATION AT TOP OF WALL
TW-XXX.XX
ELEVATION AT BOTTOM OF WALL
BW-XXX.XX
ELEVATION AT TOP OF SLOPE
TS-XXX.XX
ELEVATION AT BOTTOM OF SLOPE
BS-XXX.XX

EXISTING LEGEND

- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UNDERGROUND ELECTRIC LINES
- EXISTING UNDERGROUND TELEPHONE LINES
- EXISTING UNDERGROUND FIBER OPTIC LINES
- EXISTING GAS LINE
- EXISTING SANITARY FORCEMAIN
- EXISTING CONTOUR
- FLOW LINE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER AND INLET
- PROPERTY LINE

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revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING
Bloomington, Indiana
(812) 339-2860 (Fax)

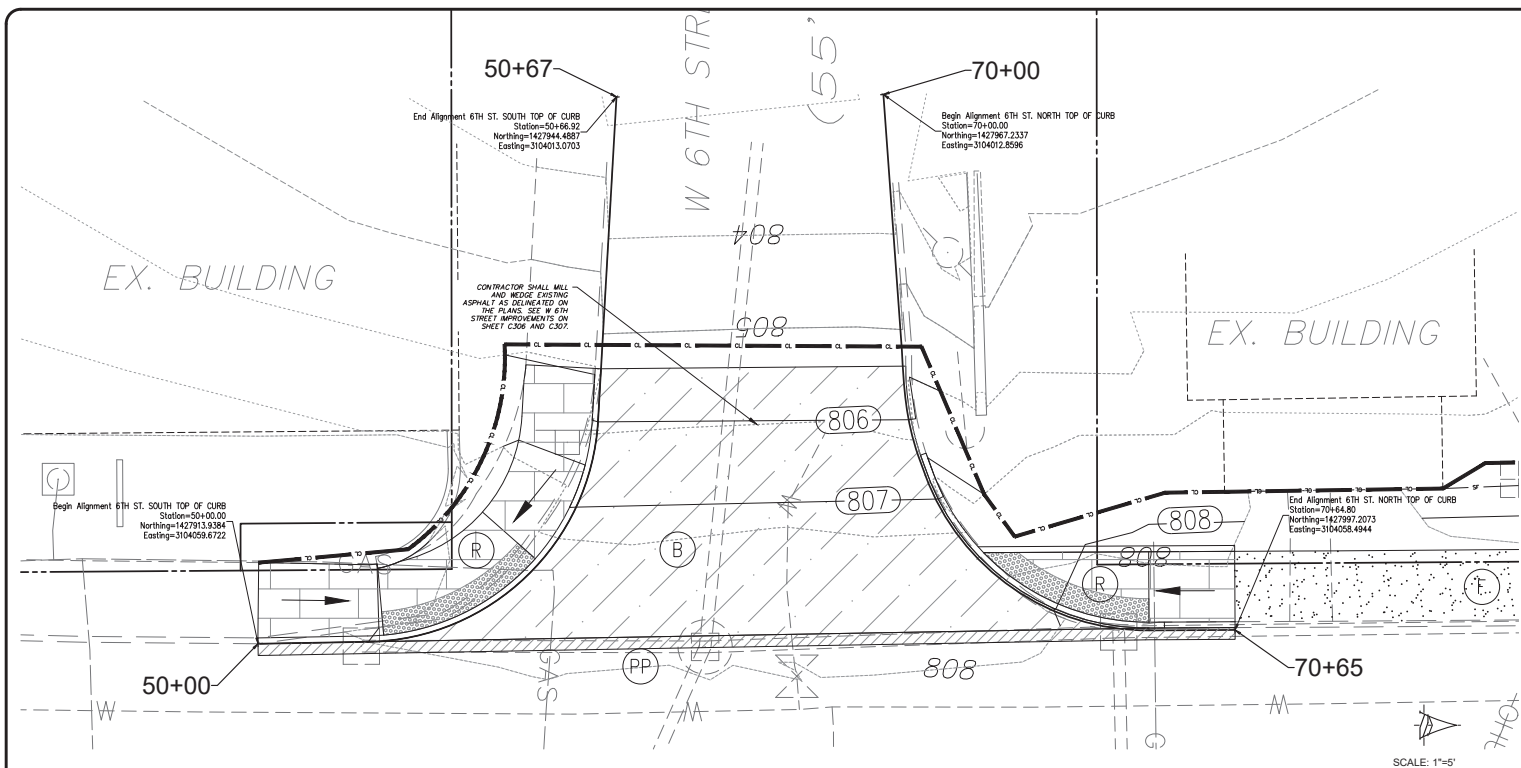
BYNLM FANTO ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana 47404
(812) 332-8030

Professional Engineer
No. 18283
STATE OF INDIANA
JAMES S. FANTO
certified by [Signature]

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-3 PLAN AND PROFILE

designed by: AJW
drawn by: AJW
checked by: JGF
sheet no: C305
project no: 402101



SITE IMPROVEMENT LEGEND

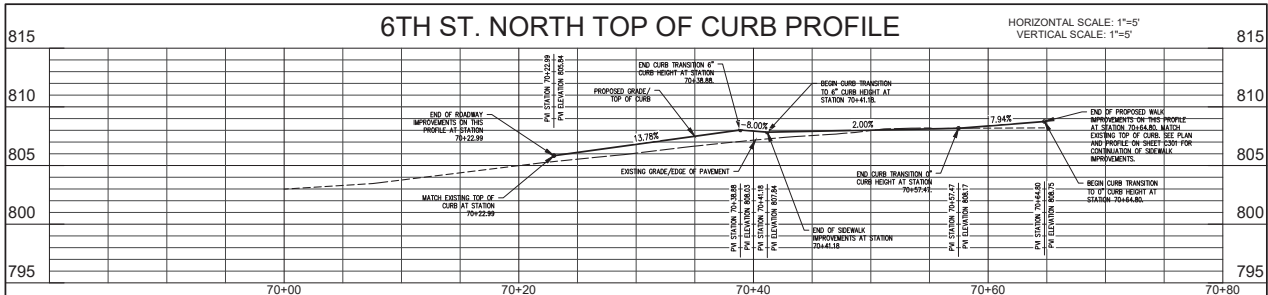
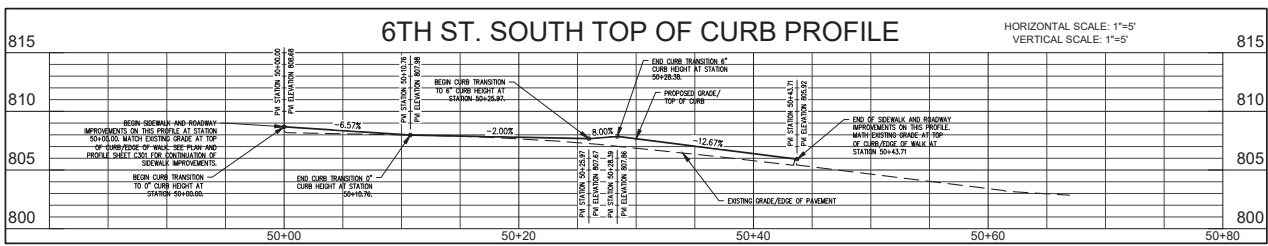
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(2)	PROPOSED ROAD ASPHALT SURFACE	
(3)	PROPOSED DRIVEWAY CONCRETE PAVING	
(4)	PROPOSED PAVEMENT PATCH - REFER TO DETAIL	
(5)	PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(6)	PROPOSED CONCRETE PAVED OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(7)	PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(8)	PROPOSED 6" STANDING CURB - REFER TO DETAIL	
(9)	PROPOSED WOOD SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(10)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "V" - REFER TO DETAIL	
(11)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL	
(12)	PROPOSED RETAINING WALL - REFER TO DETAIL	
(13)	MULCH SEEDING - REFER TO DETAIL	
(14)	CURB INLET PROTECTION - REFER TO DETAIL	
(15)	EXISTING CONTOUR	
(16)	PROPOSED CONTOUR	
(17)	TEMPORARY SALT FENCE - REFER TO DETAIL	
(18)	CONSTRUCTION LIMITS	
(19)	PROPOSED SPOT GRADE ELEVATION	
(20)	EXISTING TOP OF CURB ELEVATION	
(21)	PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	
(22)	FINISH EDGE OF PAVEMENT AT GRADE	
(23)	MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	
(24)	ELEVATION AT TOP OF WALL	
(25)	ELEVATION AT TOP OF SLOOP	
(26)	ELEVATION AT BOTTOM OF SLOOP	

EXISTING LEGEND

(1)	EXISTING FENCE	
(2)	EXISTING WATER LINE	
(3)	EXISTING OVERHEAD UTILITY LINES	
(4)	EXISTING UNDERGROUND ELECTRIC LINES	
(5)	EXISTING UNDERGROUND TELEPHONE LINES	
(6)	EXISTING UNDERGROUND FIBER OPTIC LINES	
(7)	EXISTING GAS LINE	
(8)	EXISTING SANITARY FORCEMAIN	
(9)	EXISTING CONTOUR	
(10)	FLOW LINE	
(11)	EXISTING SANITARY SEWER AND MANHOLE	
(12)	EXISTING STORM SEWER AND INLET	
(13)	PROPERTY LINE	

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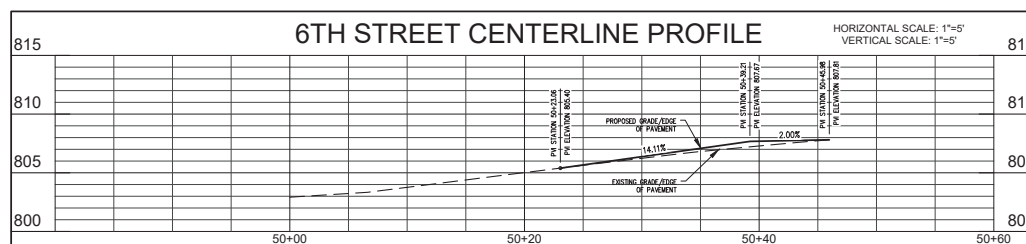
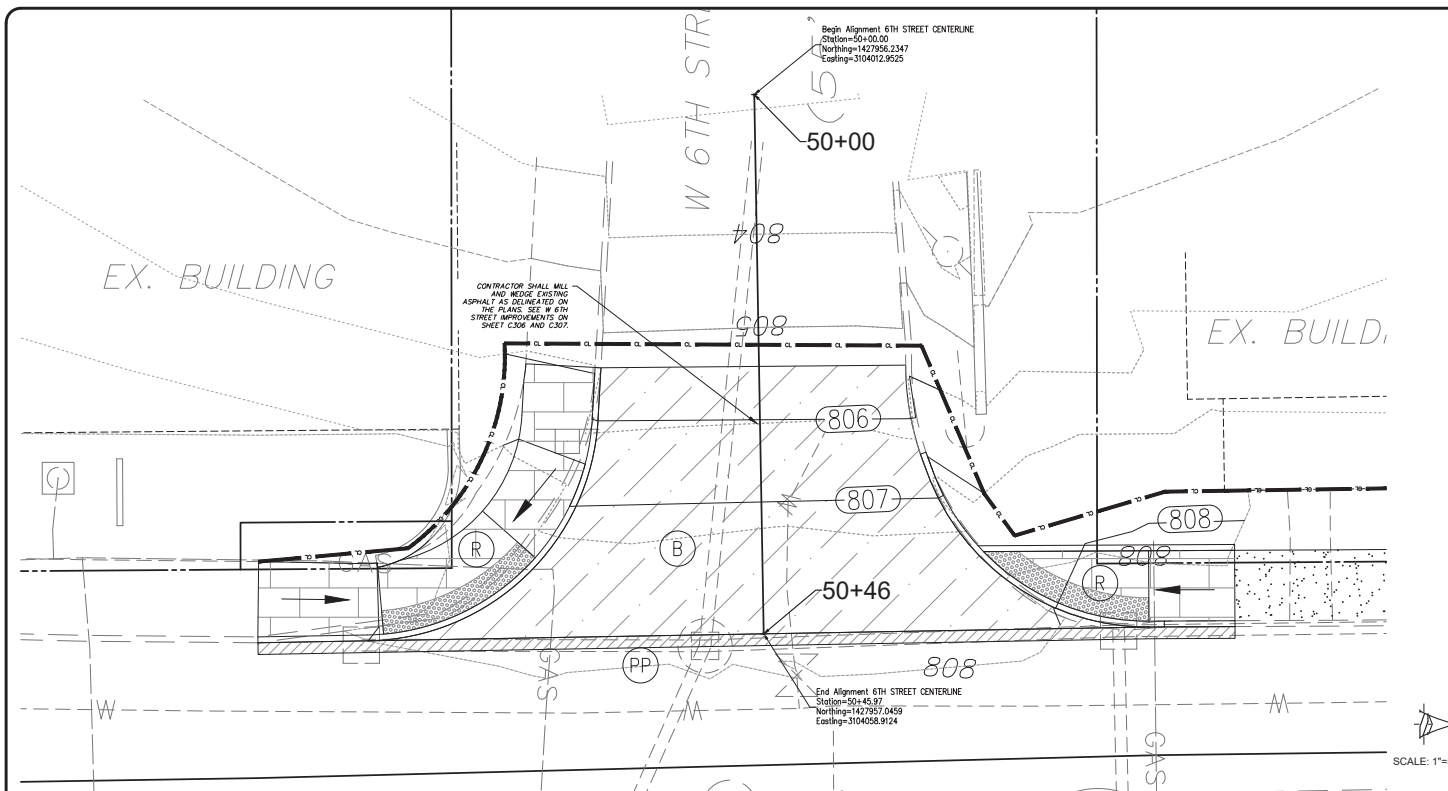
revisions:

ARCHITECTURE	PLANNING	ENGINEERING
BY: [Signature]	BY: [Signature]	BY: [Signature]
DATE: [Date]	DATE: [Date]	DATE: [Date]

PROPOSED
ADAMS STREET SIDEWALK

NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

designed by: AJW
drawn by: AJW
checked by: JBF
sheet no: C306
project no: 402101



SITE IMPROVEMENT LEGEND	
(A) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	(X) PROPOSED SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
(B) PROPOSED ROAD ASPHALT SURFACE	(Y) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "Y" - REFER TO DETAIL
(C) PROPOSED DRIVEWAY CONCRETE PAVING	(Z) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "Z" - REFER TO DETAIL
(PP) PROPOSED PAVEMENT PATCH - REFER TO DETAIL	(R) PROPOSED RETAINING WALL - REFER TO DETAIL
(T) PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	(S) MATCH SEEDING - REFER TO DETAIL
(I) PROPOSED CONCRETE PAVED OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	(C) CURB INLET PROTECTION - REFER TO DETAIL
(O) PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(U) PROPOSED 6" STANDING CURB - REFER TO DETAIL	
(V) PROPOSED 10001 SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(W) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "W" - REFER TO DETAIL	
(X) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "X" - REFER TO DETAIL	
(Y) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "Y" - REFER TO DETAIL	
(Z) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "Z" - REFER TO DETAIL	
(R) PROPOSED RETAINING WALL - REFER TO DETAIL	
(S) MATCH SEEDING - REFER TO DETAIL	
(C) CURB INLET PROTECTION - REFER TO DETAIL	
EXISTING CONTOUR	
PROPOSED CONTOUR	XXXX
TEMPORARY SALT FENCE - REFER TO DETAIL	----
CONSTRUCTION LIMITS	CL
PROPOSED SPOT GRADE ELEVATION	XXX.XX
TOP-PROPOSED TOP OF CURB ELEVATION	TC=XXX.XX
TOP-PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	EP=XXX.XX
FINISH EDGE OF PAVEMENT AT GRADE	ME=XXX.XX
MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	
ELEVATION AT TOP OF WALL	TW=XXX.XX
ELEVATION AT BOTTOM OF WALL	BB=XXX.XX
ELEVATION AT TOP OF STOOP	TS=XXX.XX
ELEVATION AT BOTTOM OF STOOP	BS=XXX.XX

EXISTING LEGEND	
EXISTING FENCE	----
EXISTING WATER LINE	W
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGE
EXISTING UNDERGROUND TELEPHONE LINES	UGT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXXX
FLOW LINE	----
EXISTING SANITARY SEWER AND MANHOLE	----
EXISTING STORM SEWER AND INLET	----
PROPERTY LINE	----

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

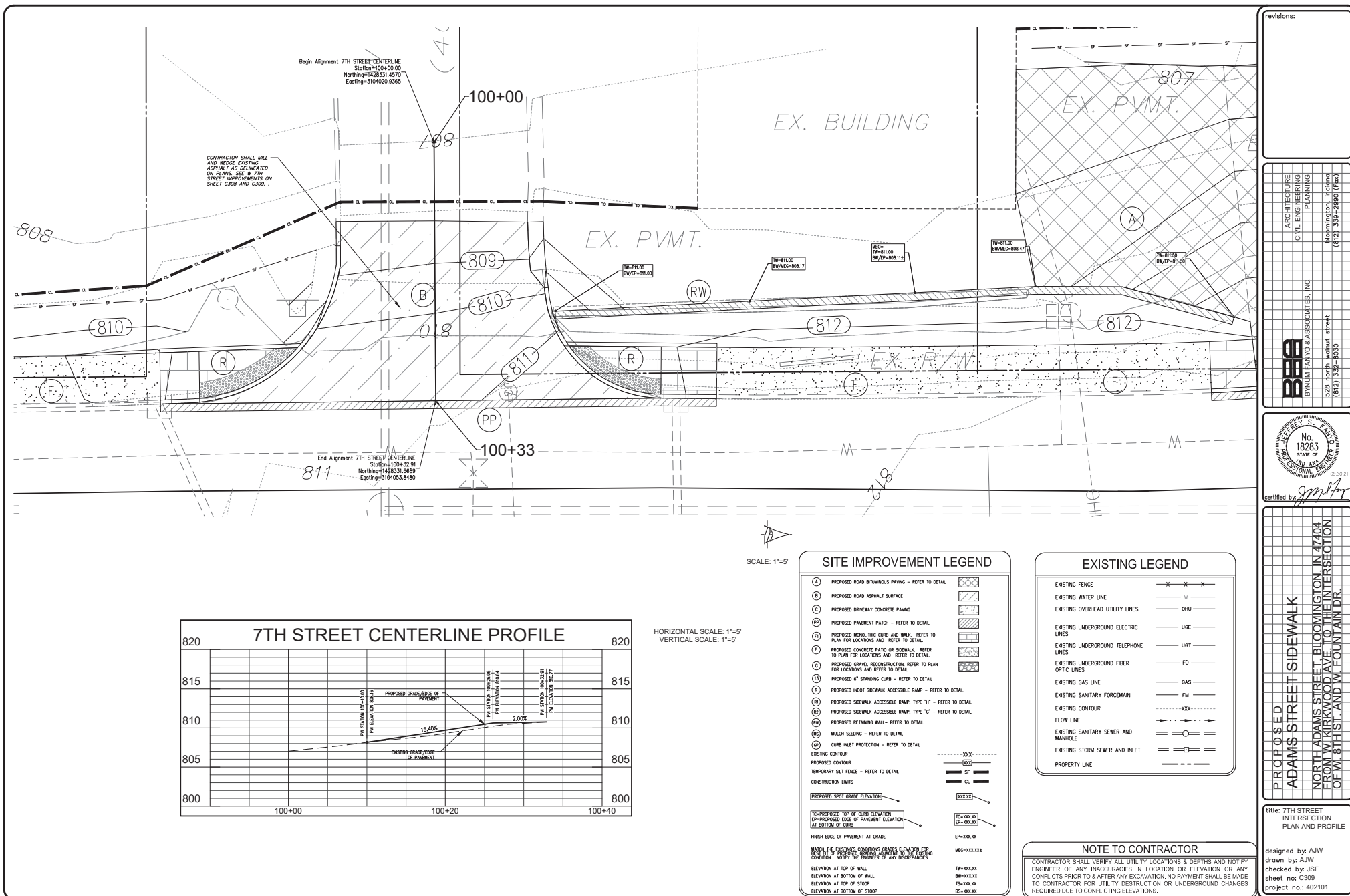
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
Bloomington, Indiana
(812) 338-2880 (Fax)

Professional Engineer
No. 18283
STATE OF INDIANA
certified by [Signature]

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: 6TH STREET
INTERSECTION
PLAN AND PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C307
project no: 402101



revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BYNUM FANTO & ASSOCIATES, INC.
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Professional Engineer
No. 18283
STATE OF INDIANA

certified by

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
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title: 7TH STREET
INTERSECTION
PLAN AND PROFILE

designed by: AJW
drawn by: AJW
checked by: JBF
sheet no: C309
project no: 402101

NOTES

- ① Show the turning speed in greater than 3.0%, a 4.0 maximum speed is allowed. Do not exceed the listed turning speed. The turning speed may not exceed 1.0000.
- ② The turning speed may be less than 3.0% to 3.99% if a 4.0 maximum speed is allowed. Do not exceed the listed turning speed.
- ③ A tapered curb may not be used for the maximum curb, the maximum curb may be used for the tapered curb.
- ④ A tapered curb may be used, in a depressed curb corner turning from a depressed curb to a depressed curb corner turning from a depressed curb to a depressed curb.
- ⑤ Where there is a buffer between the curb and the profiled curb, the depressed curb may be used. Where there is a buffer between the depressed curb and the profiled curb, the maximum depressed curb is 1/4". Do not exceed 1/4" between the curb and the depressed curb.


LEGEND:

—	Buffer or Other Non-Habitable Surface
—	Curb
—	Depressed Humpback Warning Surface
—	Turning Lane

INDIANA DEPARTMENT OF TRANSPORTATION

BLENDED TRANSITION CURB RAMP, DEPRESSIONED CURB RAMP AND TRANSITIONAL CURB RAMP TYPICAL PLACEMENT.

STANDARD DRAWING NO. E 604-S09-09



Seal of the Indiana Department of Transportation, featuring a circular design with 'INDIANA DEPARTMENT OF TRANSPORTATION' and '1913'.

As Modified by sheets 05/28/16

By John Grier

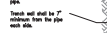
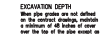
05/28/16

[illegible]

NOTES:

1. Intermittent warning surface shall consist of intermittent drums. Drums shall be spaced in a square or other pattern with diameter and center-to-center spacing within the ranges listed below.
2. The intermittent warning surface may be fixed cast, variable duration flashing surface or variable duration flashing surface with integral flashing.
3. The intermittent warning surface shall be spaced at intervals with adjacent surfaces, either fixed or variable, within the ranges listed below.
4. The intermittent warning surface shall consist of a minimum of 3 ft in the length of the drum and a minimum of 12 ft in the length of the flashing. The flashing warning surface shall not be placed across a grid line.
5. The equipment manufacturer shall provide a printed or graphic list of the location of the center and the S.D.R. When the center of the drum is located between the center of the grid lines, the S.D.R. shall be 12 ft. When the center of the drum is located on a grid line, the S.D.R. shall be 10 ft.
6. Where a center line is used for lane marking, the center line shall be placed on the left side of the surface and the right side of the surface shall be marked with a center line and a shoulder line.
7. Where flashing other than a center line is used, the right shoulder shall be marked with a center line and the right shoulder shall be marked with a center line and the right shoulder.

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C401
project no.: 402101



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designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C402
project no.: 402101

**GP PRACTICE 3.61-B
GRAVEL CURB INLET PROTECTION**

REQUIREMENTS Contributing drainage area: 1 acre maximum.
Capacity: Runoff from a 2-in., frequency, 24-hr. duration storm event entering the storm drain without bypass flow.
Location: At curb inlets where ponding is likely to cause incrustation or damage.
Gravel: 1/2-in. diameter (MOT CA No. 2).
Wire mesh: Chicken wire or hardware cloth with 1/2-in. openings.
Geotextile fabric (optional): For filtration.

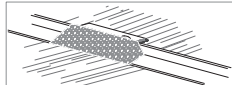


Exhibit 3.61-B. Perspective view of a gravel curb inlet protection.

INSTALLATION
(Exhibit 3.61-B)

1. Install gravel curb inlet protection as soon as the streets are paved in a new development situation or before land-disturbing activities in stabilized areas.
2. Place wire mesh over the curb inlet opening and/or gravel so it extends at least 12 in. beyond both top and bottom of the opening/grate.
3. Install geotextile fabric over the wire mesh for additional filtration (optional).
4. Fill gravel over the wire mesh to anchor it against the curb, covering the inlet opening completely.

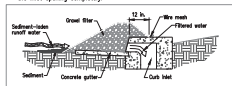


Exhibit 3.61-C. Cross-section detail of a gravel curb inlet protection.

MAINTENANCE

- After each storm event, remove sediment and replace the gravel; replace the geotextile filter fabric, if used.
- Periodically remove sediment and track-on soil from the street (but not by hosing with water) to reduce the sediment load on the curb inlet practice.
- Inspect periodically, and repair damage caused by vehicles.
- When the contributing drainage area has been stabilized, remove the gravel, mesh, geotextile fabric, and any sediment, and dispose of them properly.

**MS PRACTICE 3.12
PERMANENT SEEDING**

REQUIREMENTS Site and seedbed preparation: Graded, and fine and fertile/flat applied.
Plant Species: Selected on the basis of soil type, soil pH, region of the state, time of year, and planned use of the area to be seeded (see Exhibit 3.12-C).
Mixer: Clean grain, straw, hay, wood, fiber, etc., to protect seedbed and encourage plant growth. The mixer must be designed to reduce removal by wind or water, or erosion control materials may be considered.

APPLICATION (Exhibit 3.12-B, C, and D)
Permanently seed of final grade areas (e.g., landscape berm, drainage swales, erosion control structures, etc.) as soon as completion and all areas where additional work is not scheduled for a period of more than a year.

SITE PREPARATION:
1. Initial practices needed to control erosion, sedimentation, and runoff prior to seeding. These include temporary and permanent ditches, sediment traps and basins, silt fences, and straw bale dams (Practices 3.21, 3.22, 3.72, 3.73, 3.74, and 3.75).
2. Grade the site and fill in depressions that can collect water.
3. Add topsoil to achieve needed depth for establishment of vegetation (Practice 3.02).

SEEDING PREPARATION:
1. Test soil to determine pH and nutrient levels. (Contact your county SMC or Cooperative Extension office for assistance and soils information, including suitable soil testing services).
2. If soil pH is unsuitable for the species to be seeded, apply lime according to test recommendations.
3. Fertilize as recommended by the soil test. If testing was not done, consider applying 400-600 lbs./acre of 12-12-12 analysis, or equivalent, fertilizer.
4. Till the soil to obtain a uniform seedbed, working the fertilizer and lime into the soil 2-4 in. deep with a disk or rake operated across the slope (Exhibit 3.12-B).

SEEDING:
Optimum seeding dates are Mar. 1-May 10 and Aug. 10-Sept. 30. Permanent seeding done between May 10 and Aug. 10 may need to be irrigated. As an alternative, use temporary seeding (Practice 3.11) until the preferred date for permanent seeding.
1. Select a seedling mixture and rate from Exhibit 3.12-C, based on site conditions, soil pH, intended land use, and expected level of maintenance.
2. Apply seed uniformly with a drill or mulch/spreader-spreader (Exhibit 3.12-C) or by broadcasting, and cover to a depth of 1/4-1/2 in. by drilling or broadcasting, from the seedbed with a roller or mulch/spreader.
3. Mixture of seeded areas (Practice 3.15). Consider using erosion blankets on sloping areas (Practice 3.17). (NOTE: If seeding is done with a hydroseeder, fertilizer and mulch can be applied with the seed in a slurry mixture).

Exhibit 3.12-C. Permanent Seeding Recommendations

This table provides several seeding options. Additional seed species and mixtures are available commercially. When selecting a mixture, consider site conditions, including soil properties (e.g., soil pH and drainage), slope aspect and the tolerance of each species to shade and droughtiness.

Seed species and mixtures	Rate per acre	Optimum soil pH
OPEN AND DISTURBED AREAS (REPAIRING EROSION MORE THAN 1 YR.)		5.8 to 7.2
1. Perennial ryegrass	35 to 50 lbs.	5.8 to 7.2
+ white or ladino clover*	1 to 2 lbs.	
2. Kentucky bluegrass	20 lbs.	5.5 to 7.5
+ orchardgrass	3 lbs.	
+ timothy	4 lbs.	
+ perennial ryegrass	10 lbs.	
+ white or ladino clover*	1 to 2 lbs.	
3. Perennial ryegrass	35 to 50 lbs.	5.8 to 7.0
+ white or ladino clover*	1 to 2 lbs.	
4. Perennial ryegrass	35 to 50 lbs.	5.5 to 7.5
+ ladino or white clover*	1 to 2 lbs.	
SLOPE BANKS AND CUTS, LOW MAINTENANCE AREAS (NOT MOWED)		
2. Perennial ryegrass	35 to 50 lbs.	5.5 to 7.5
+ white or ladino clover*	1 to 2 lbs.	
3. Perennial ryegrass	35 to 50 lbs.	5.5 to 7.5
+ white clover*	10 to 20 lbs.	
(Disseminated seeds of 12-40)		
4. Orchardgrass	20 to 30 lbs.	5.8 to 7.0
+ red clover*	10 to 20 lbs.	
+ ladino clover*	1 to 2 lbs.	
LAWNS AND HIGH MAINTENANCE AREAS		
1. Bluegrass	55 to 150 lbs.	5.5 to 7.0
2. Perennial ryegrass (leaf-type)	45 to 60 lbs.	5.8 to 7.0
+ bluegrass	70 to 90 lbs.	
3. Perennial ryegrass (leaf-type)	55 to 100 lbs.	5.5 to 7.5
+ bluegrass	20 to 30 lbs.	
CHANNELS AND AREAS OF CONCENTRATED FLOW		
1. Perennial ryegrass	100 to 150 lbs.	5.8 to 7.0
+ white or ladino clover*	1 to 2 lbs.	
2. Kentucky bluegrass	20 lbs.	5.5 to 7.5
+ orchardgrass	3 lbs.	
+ timothy	4 lbs.	
+ perennial ryegrass	10 lbs.	
+ white or ladino clover*	1 to 2 lbs.	
3. Perennial ryegrass	100 to 150 lbs.	5.5 to 7.5
+ white or ladino clover*	1 to 2 lbs.	
4. Perennial ryegrass	15 to 20 lbs.	5.5 to 7.5
+ Kentucky bluegrass	15 to 20 lbs.	

* For best results: (a) legume seed should be inoculated; (b) seeding mixtures containing legumes should preferably be spring-seeded, although the grass may be fall-seeded and the legume first-seeded (Practice 3.13); and (c) if legumes are fall-seeded, do so in early fall.

NOTE: As not or wheat competition or nurse crop may be used with any of the above permanent seeding mixtures. If so, it is best to seed during the fall seeding period, respectively after Sept. 15, and at the following ratio: spring oats-1.4 to 3/4 bu./acre; wheat-no more than 1/2 bu./acre.

MAINTENANCE

- Inspect periodically, especially after storm events, until the stand is successfully established. (Characteristics of a successful stand include vigorous dark green or bluish-green seedlings, uniform density with nurse plants, legumes, and grasses well inter-mixed; green herbage and the potential remaining green throughout the summer; at least of the plant leaves).
- Plan to add fertilizer the following growing season according to soil test recommendations.
- Repair damaged, low or sparse areas by filling any gullies, re-fertilizing, over- or re-seeding, and mulching.
- If plant cover is sparse or patchy, remove the plant materials chosen, add fertility, moisture condition, and mulching; then repair the affected area either by over-seeding or by re-seeding and mulching after re-preparing the seedbed.
- If vegetation fails to grow, consider soil testing to determine acidity or nutrient deficiency problems. (Contact your SMC or Cooperative Extension office for assistance.)
- If additional fertilization is needed to get a satisfactory stand, do so according to soil test recommendations.

**SF PRACTICE 3.74
SILT FENCE (SEDIMENT FENCE)**

PURPOSE To retain sediment from small, sloping disturbed areas by reducing the velocity of sheet flow.
(NOTE: Silty fence captures sediment by ponding water to allow deposition, not by filtration. Although the practice usually works best in conjunction with temporary basins, traps, or diversions, it can be sufficiently effective to be used alone. A silt fence is not recommended for use as a diversion nor is it to be used across a stream, channel or anywhere that concentrated flow is anticipated.)

REQUIREMENTS (Exhibit 3.74-B and C)
Drainage Area: Limited to 1/4 acre per 100 ft. of fence; further reduced by slope steepness (see Exhibit 3.74-B).
Location: Fence must be approximately halfway between the land contour, and at least 10 ft. from toe of slope to provide a broad, shallow sediment pond.
Trench: 8 ft. minimum depth, 16 ft. minimum width with compacted soil or gravel to bury lower portion of support wire and/or fence fabric.
Support posts: 2 x 4 in. hardwood posts (6 used) or steel fence posts set at least 1 ft. deep.* (Steel posts should project 12 in. or farther below ground.)
Spacing of posts: 8 ft., maximum if fence supported by wire, 6 ft. or extra-strength fabric without wire backing.
Fence height: High enough so depth of ponded water does not exceed 1 1/2 ft. at any point along fence line.
Support wire (optional): 14 gauge 6 ft. wire fence (needed if using standard-strength fabric).
Fence fabric: Woven or non-woven geotextile fabric with excellent filtering efficiency and handle strength (see Exhibit 3.74-C) and containing UV inhibitors and stabilizers to assure 6-10 years life at temperatures 7-127°F.

Exhibit 3.74-C. Specifications Minimums for Silty Fence Fabric

Physical Property	Woven Fabric	Non-woven fabric
Filtering efficiency	85%	85%
Tensile strength at 20% elongation	300s./linear in.	300s./linear in.
Standard strength	300s./linear in.	200s./linear in.
Extra strength	450s./linear in.	450s./linear in.
Shrink rate	0.5 in./ft./sq.ft.	0.5 in./ft./sq.ft.
Flow rate	100 gal./min./sq.ft.	100 gal./min./sq.ft.
UV resistance	70%	70%

OUTLET (optional): To allow for safe storm flow bypass without overtopping fence. Paved along fence line to limit water depth to 1 1/2 ft., maximum; crest—1 ft. high maximum; wet width—4 ft. maximum; splash pool—5 ft. wide, 3 to 12 in. deep minimum.

INSTALLATION

1. Plan for the fence to be at least 10 ft. from the toe of the slope to provide a sediment pond.
2. Provide access to the area if sediment channel will be needed.
3. **OUTLET CONSTRUCTION (OPTIONAL):**
 1. Determine the appropriate location for a reinforced, stabilized bypass flow outlet.
 2. Set the outlet elevation so that water depth cannot exceed 1 1/2 ft. at the lowest point along the fence line.
 3. Locate the outlet well support posts no more than 4 ft. apart, and install a horizontal brace between them. (Wall height should be no more than 1 ft. and water depth no more than 1 1/2 ft. anywhere else along the fence.)
 4. Excavate the foundation for the outlet splash pool to minimum of 1 ft. deep, 5 ft. wide and 5 ft. long on level ground.
 5. Fill the excavated foundation with MOT CA No. 1 stone, being careful that the finished surface blends with the surrounding area, sloping as needed.
 6. Stabilize the area around the post.
4. **OUTLET CONSTRUCTION (OPTIONAL):**
 1. Along the entire intended fence line, dig an 8 ft. deep flat-bottomed or V-shaped trench.
 2. On the down-slope side of the trench, drive the wood or steel support posts of least 1 ft. into the ground, spacing them no more than 8 ft. apart. If the fence is supported by wire or 6 ft. if extra strength fabric is used without support wire. Adapt spacing if necessary to ensure that posts are set at the low points along the fence line. (NOTE: If the fence has pre-attached posts or stakes, drive them deep enough so the fabric is satisfactory in the trench as described in step 6.)
 3. Fasten support wire fence to the outside side of the posts, extending 8 ft. into the trench.
 4. Run a continuous length of geotextile fabric in front of the support wire and posts, avoiding joints, particularly at low points in the fence line.
 5. If a joint is necessary, seal the overlap to the nearest post with a pin.
 6. Place the bottom 1 ft. of fabric in the 8 ft. deep trench, extending the remaining 4 ft. toward the up-slope side.
 7. Backfill the trench with compacted earth or gravel.
5. If fabric is pre-attached commercial silty fence other than constructing one, follow the manufacturer's installation instructions.

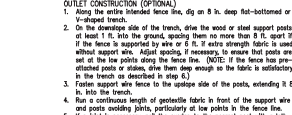


Exhibit 3.74-E. Detailed example of silty fence installation.

MAINTENANCE

- Inspect the silty fence periodically and after each storm event.
- If fence fabric tears, starts to decompose or in any way becomes ineffective, replace the entire fence portion immediately.
- Remove deposited sediment when it reaches half the height of the fence at the lowest point or if causing the fence to begin to float.
- Take care to avoid undermining the fence during clean out.
- After the contributing area has been stabilized, remove the fence and sediment deposits, bring the disturbed area to grade, and stabilize.

NOTE TO CONTRACTOR

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revisions:

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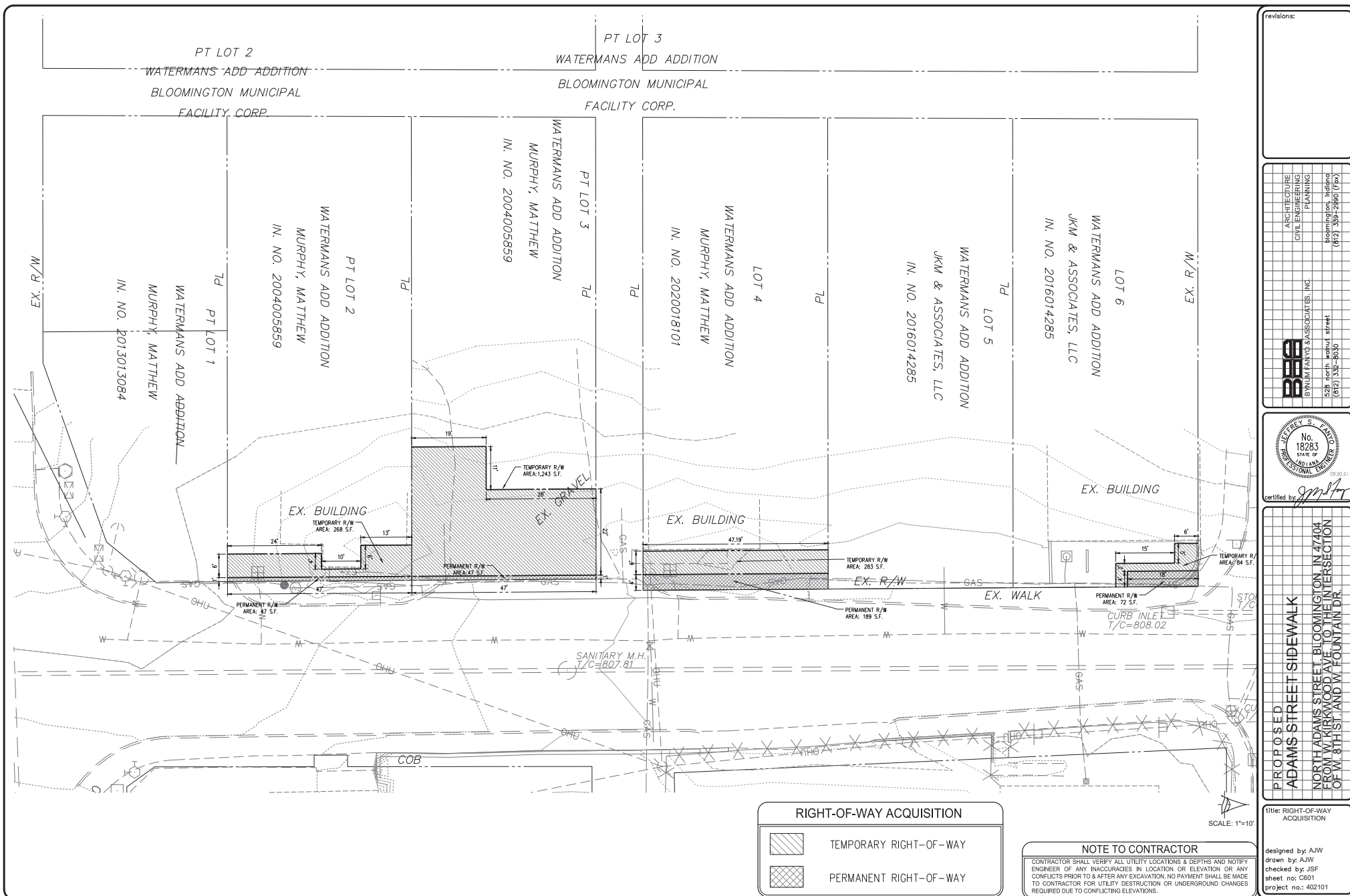
Professional Engineer
No. 18283
STATE OF ALABAMA

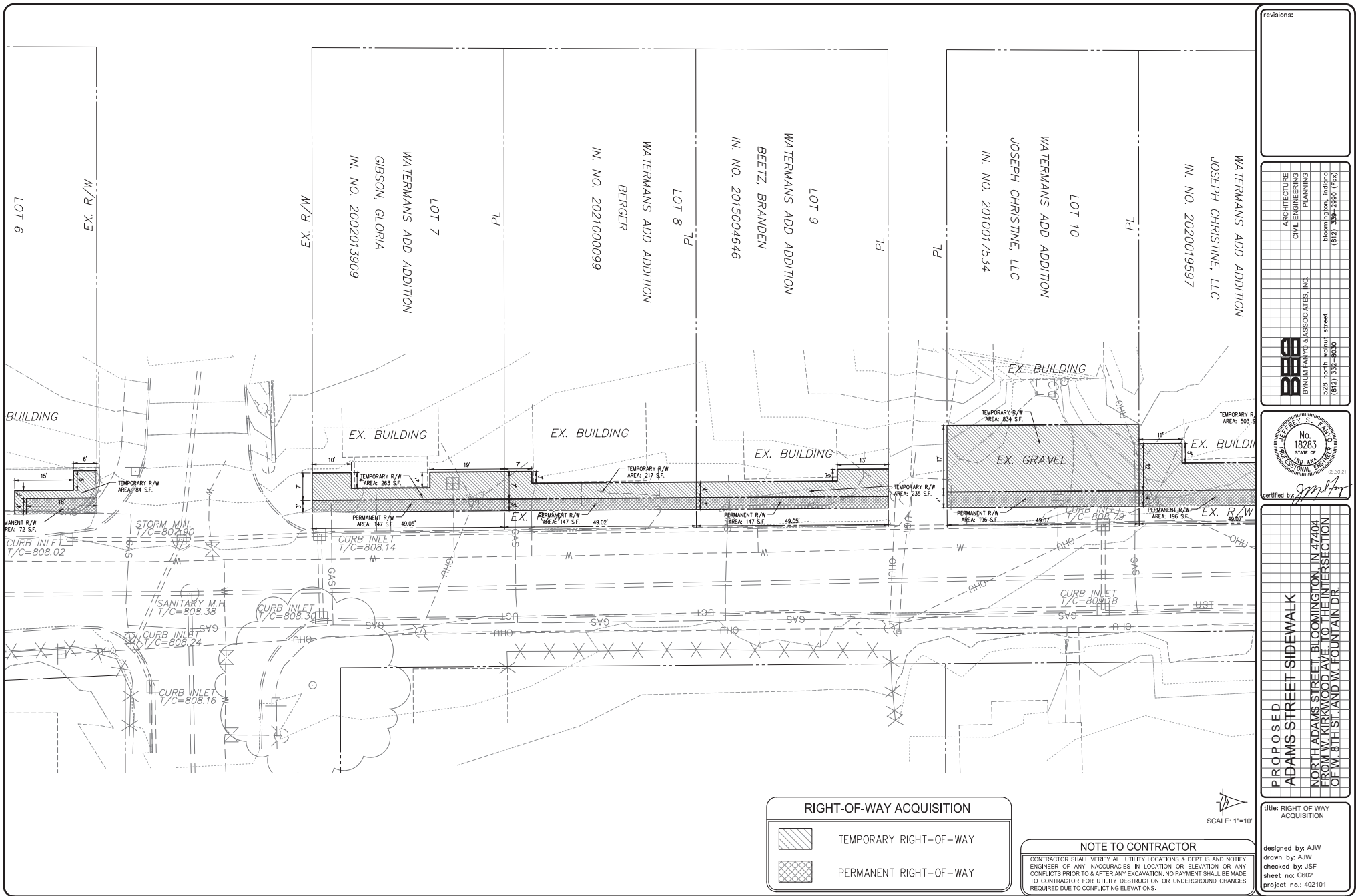
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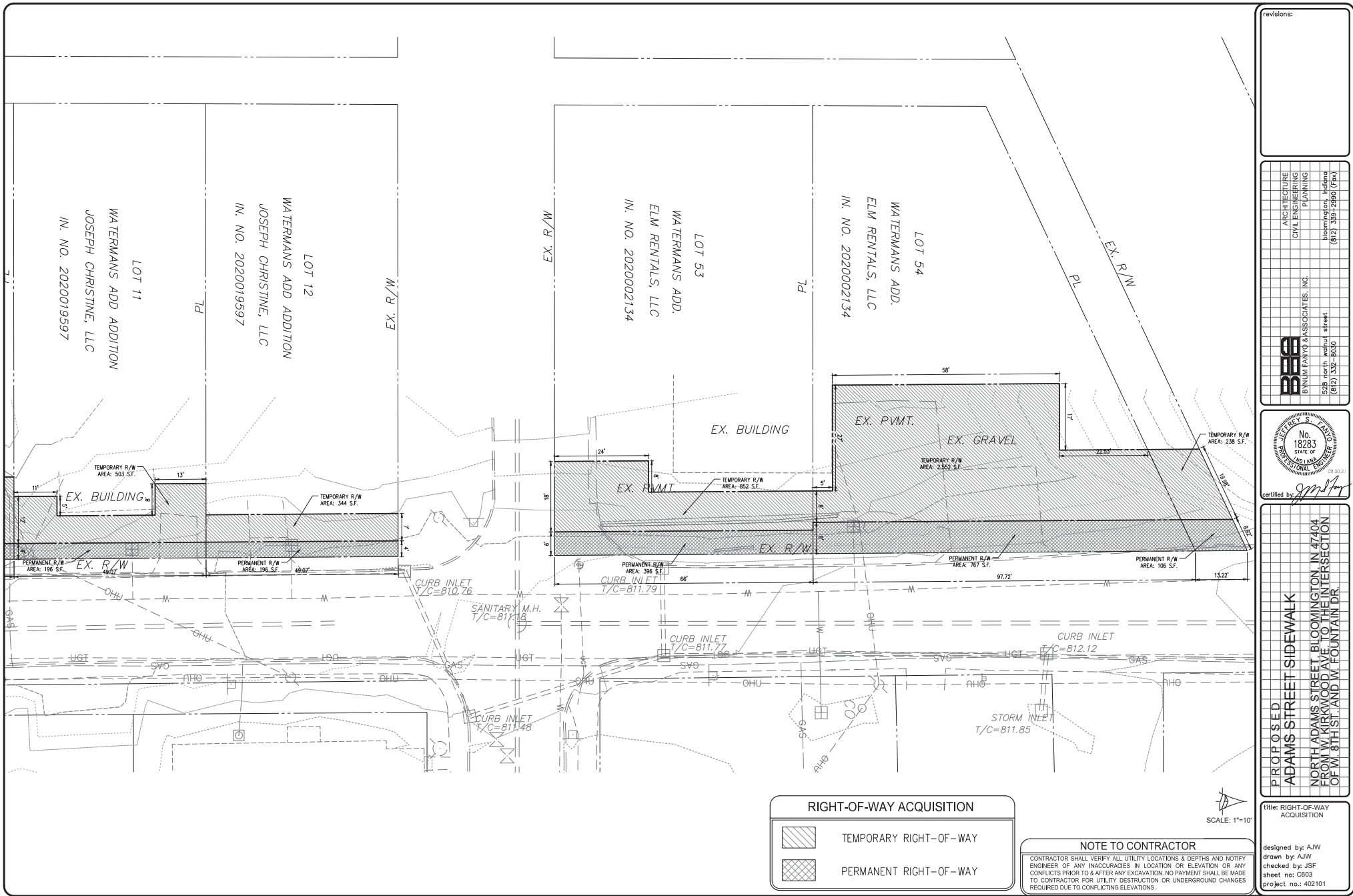
PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BIRMINGHAM, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: EROSION DETAILS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C403
project no: 402101







revisions:

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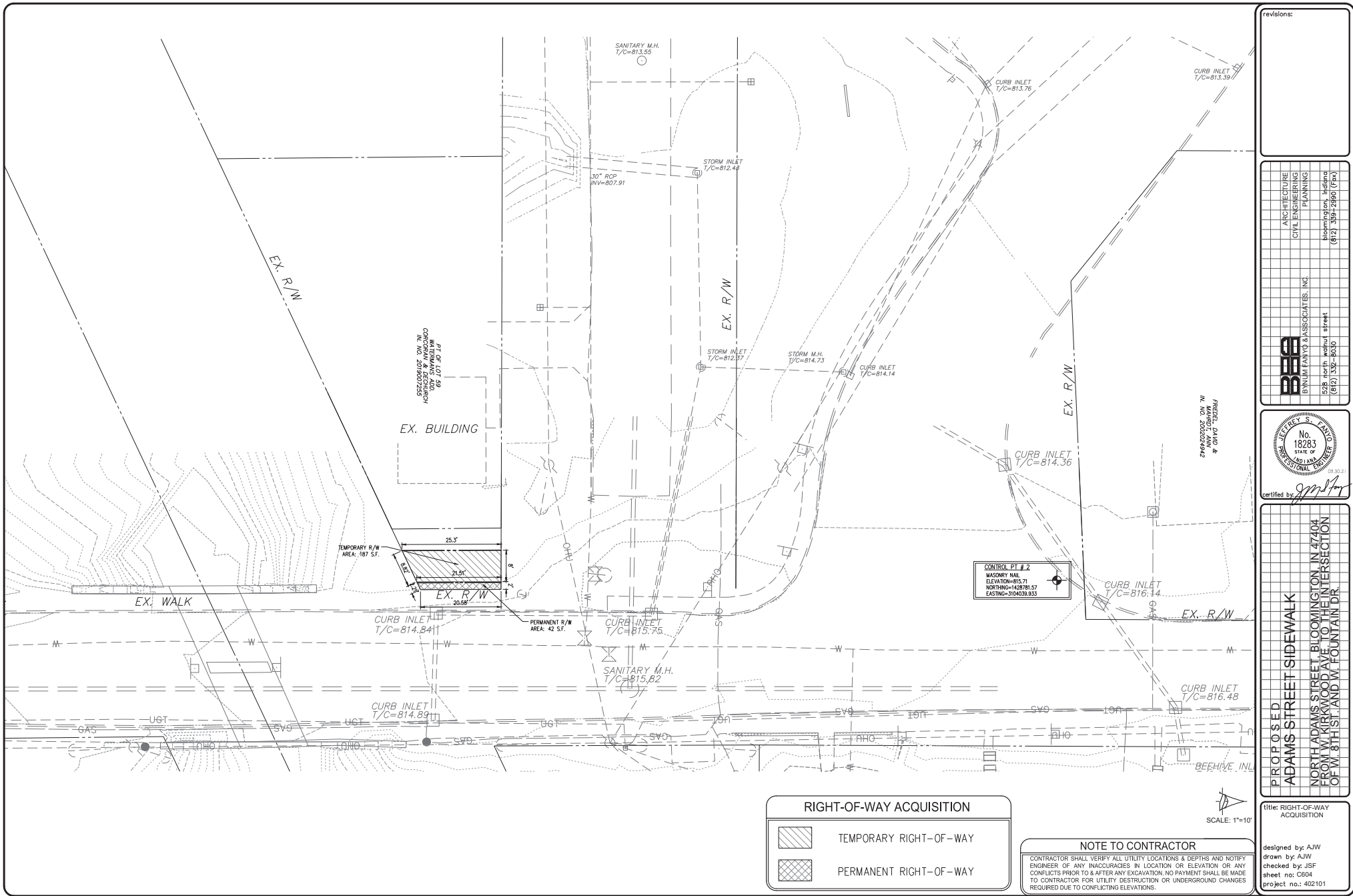
PROPOSED

ADAMS STREET SIDEWALK

NORTH ADAMS STREET, BLOOMINGTON, IN 47404

FROM W. KIRKWOOD AVE. TO THE INTERSECTION

OF W. 8TH ST. AND W. FOUNTAIN DR.



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Bynum Fawcett & Associates, Inc.
 528 North Walnut Street
 Bloomington, Indiana 47404
 (812) 332-8030

No. 18283
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

certified by:



February 27, 2023

Drew Myers
Senior Planner
Monroe County Historic Preservation Board of Review
501 N Morton St.
Bloomington, IN 47404

Re: Creation of four new bioretention ponds at different locations in Bloomington, Indiana
Community Development Block Grant Public Physical Improvement

Dear Mr. Myers,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

The proposal aims to create four water retention ponds in order to improve water quality and reduce flooding in a drainage basin. A bioretention pond is a rain garden that helps treat and filter the water before it enters the storm sewer system or stream. The pond would also provide detention, which holds the water back during a rain event, and release it at a slower rate.

Enclosed are four maps that show the project areas and additional areas of potential indirect effects. The four new bioretention ponds as seen on the attached map; two in the Waterman's Addition on the near westside, west of Adams St., south of Fountain Drive, north of 6th St. Another pond is proposed just south of Sherwood Oaks Christian Church on Sare Road and the

last pond is proposed between South Downs and Sheridan Dr., east of Bryan Park, just west of Karen Drive.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

Sincerely,

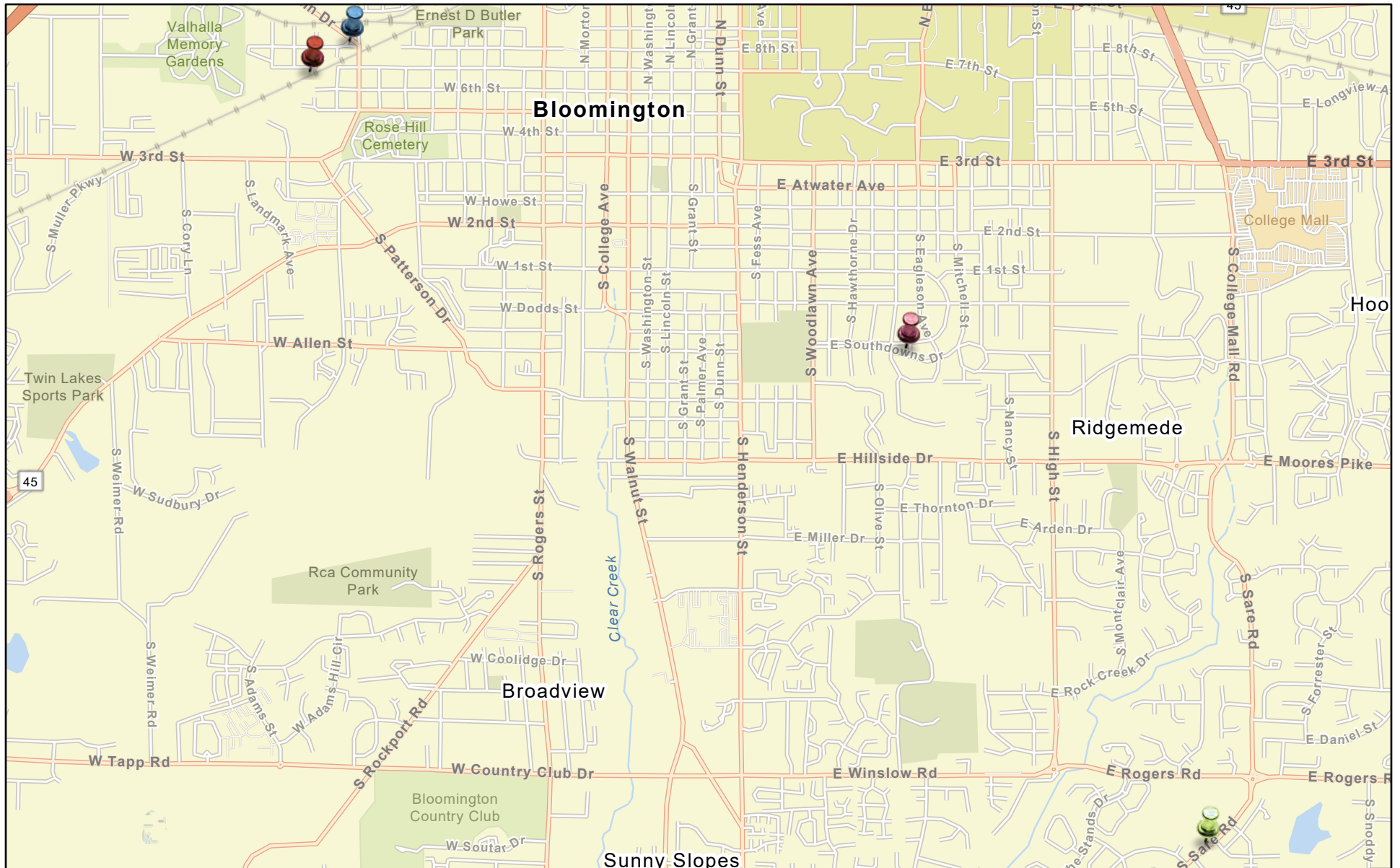


Gloria M. Colom Braña
Historic Preservation Program Manager
City of Bloomington, Indiana

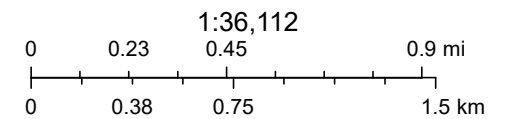
Cc: Department of Historic Preservation and Archeology, Department of Natural Resources, Indiana

Attachments

ALL PONDS

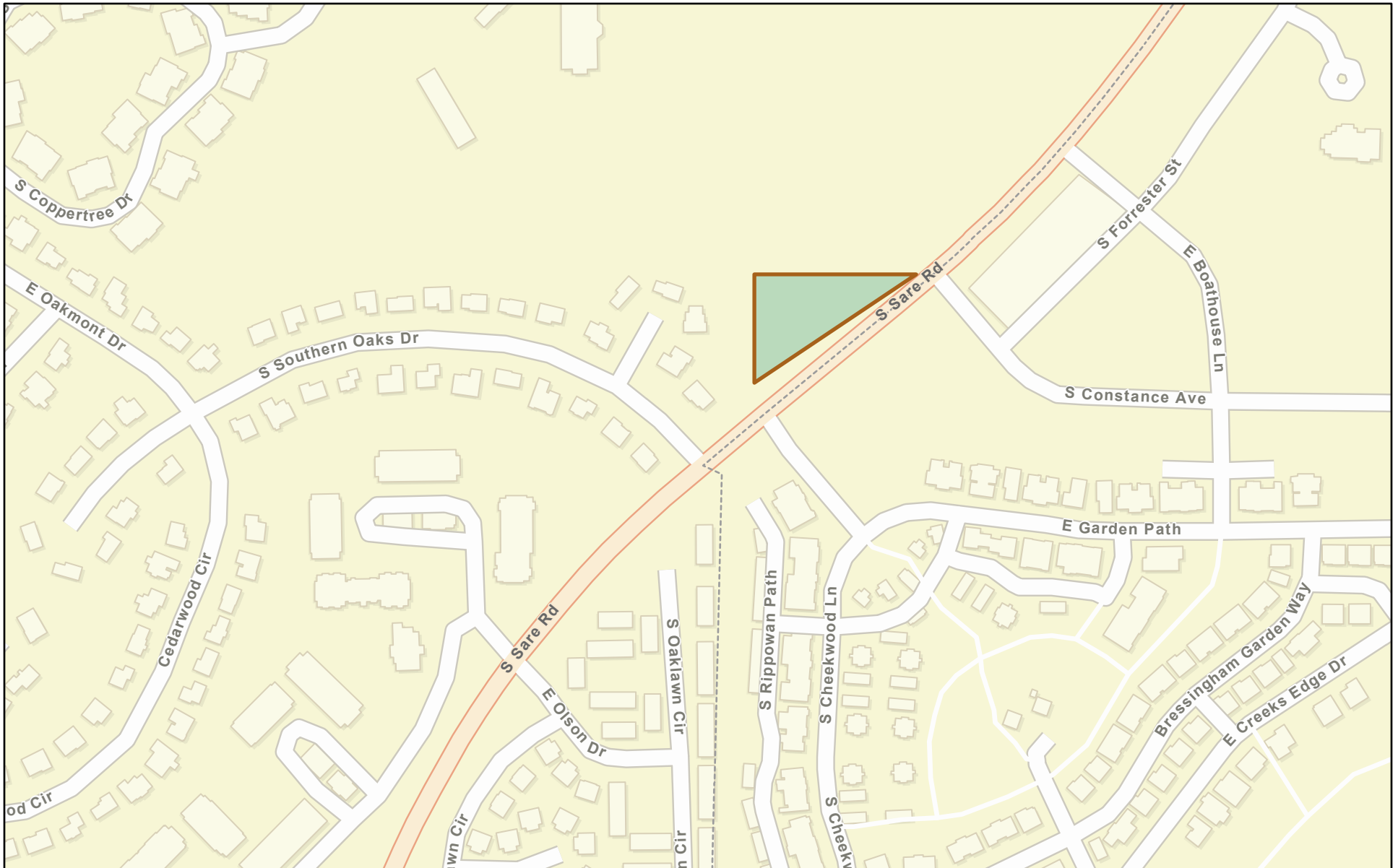


November 30, 2022




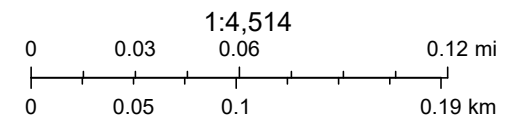
Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

RETENTION PONDS 1



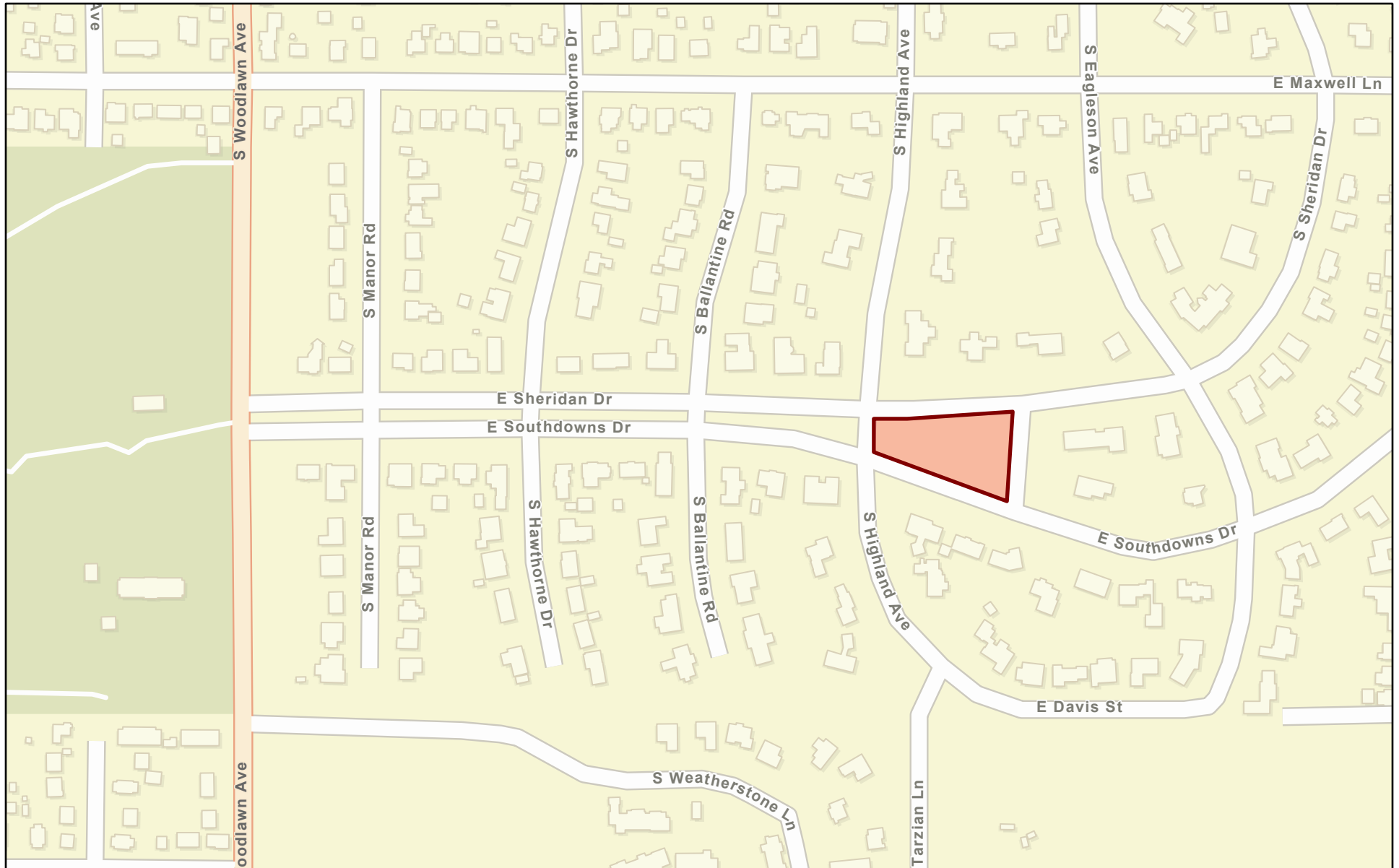
November 30, 2022

 POND 1 - South Sare Road



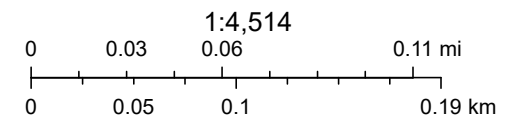
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RETENTION PONDS 2



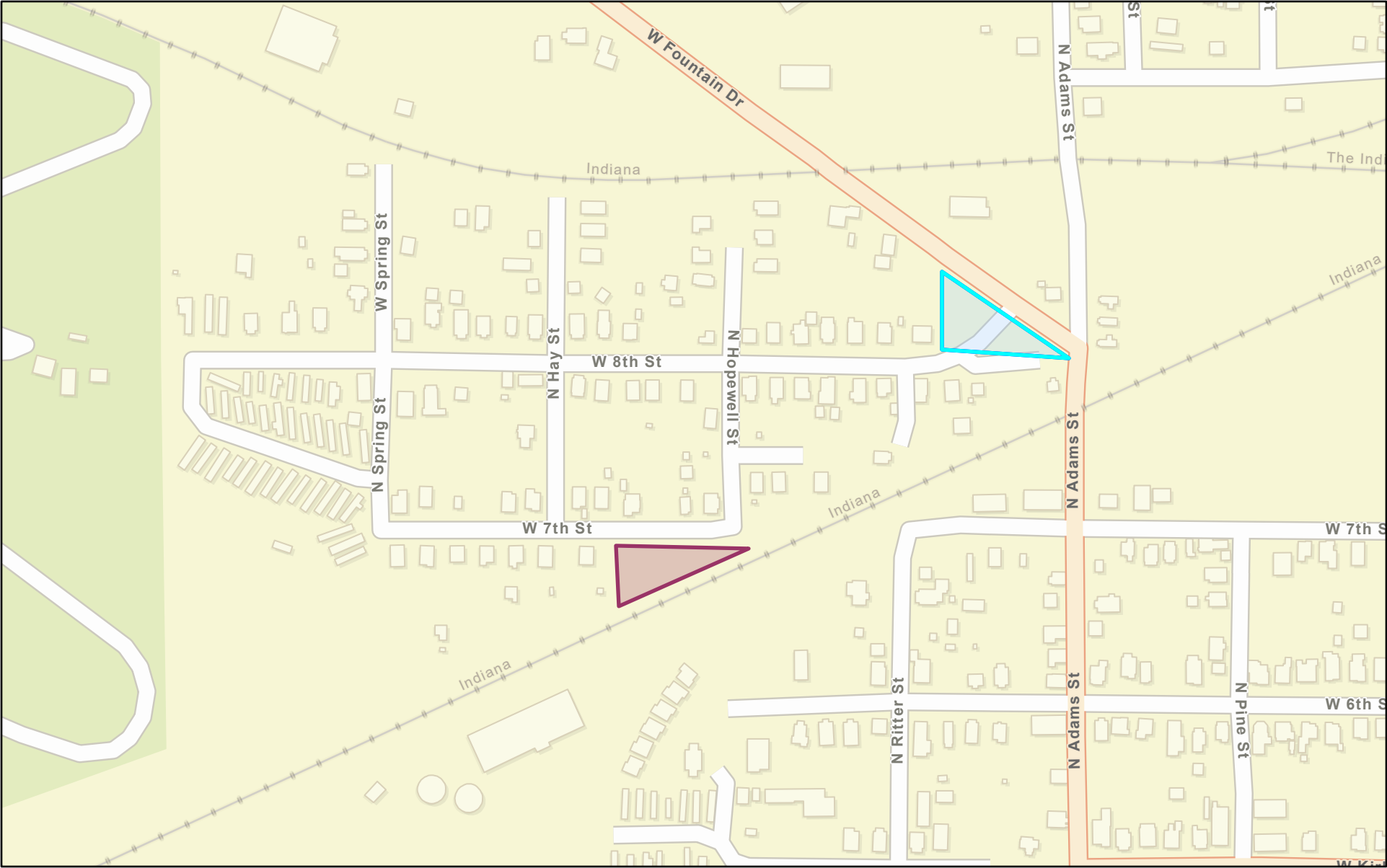
November 30, 2022

 POND 2





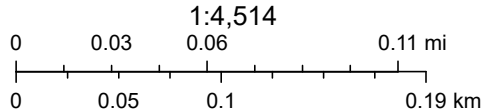
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RETENTION PONDS 3 AND 4



November 30, 2022

-  POND 4
-  POND 3



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March 2, 2023

Drew Myers
Senior Planner
Monroe County Historic Preservation Board of Review
501 N Morton St.
Bloomington, IN 47404

Re: Construction of Governor Park multi-family building in Ellettsville, Indiana
Project Based Voucher Program and Federal Tax Credits - New Construction

Dear Mr. Myers,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

The project involved the demolition of existing structures and new construction on the Area of Potential Effect (APE), which has already taken place. The APE was a previously disturbed site that served as a mobile home community since 1958 according to the Monroe County tax records.

There were over twenty mobile homes that were demolished, two of which were rated as Contributing structures in the State Historic Architecture and Archaeological Research Database (SHAARD) survey with the historic addresses 5661 W SR 46 #29 and #30. Both structures were manufactured buildings manufactured by the company Village, and made

of steel with original windows and doors according to the SHAARD survey cards. They had design properties similar to the 1958 series Belvedere and Pan American trailers.

Enclosed are a map with the location, recent photos from the site, site photos taken before the demolitions took place, the SHAARD survey forms for the two demolished buildings, and historic aerial photography.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

Sincerely,

Gloria M. Colom Braña
Historic Preservation Program Manager
City of Bloomington, Indiana

Cc: Department of Historic Preservation and Archeology, Department of Natural Resources, Indiana

Attachments



Map Legend

 APE

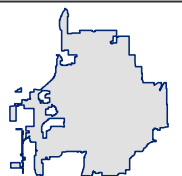




Photo 1 - facing northeast towards the main building (2023).



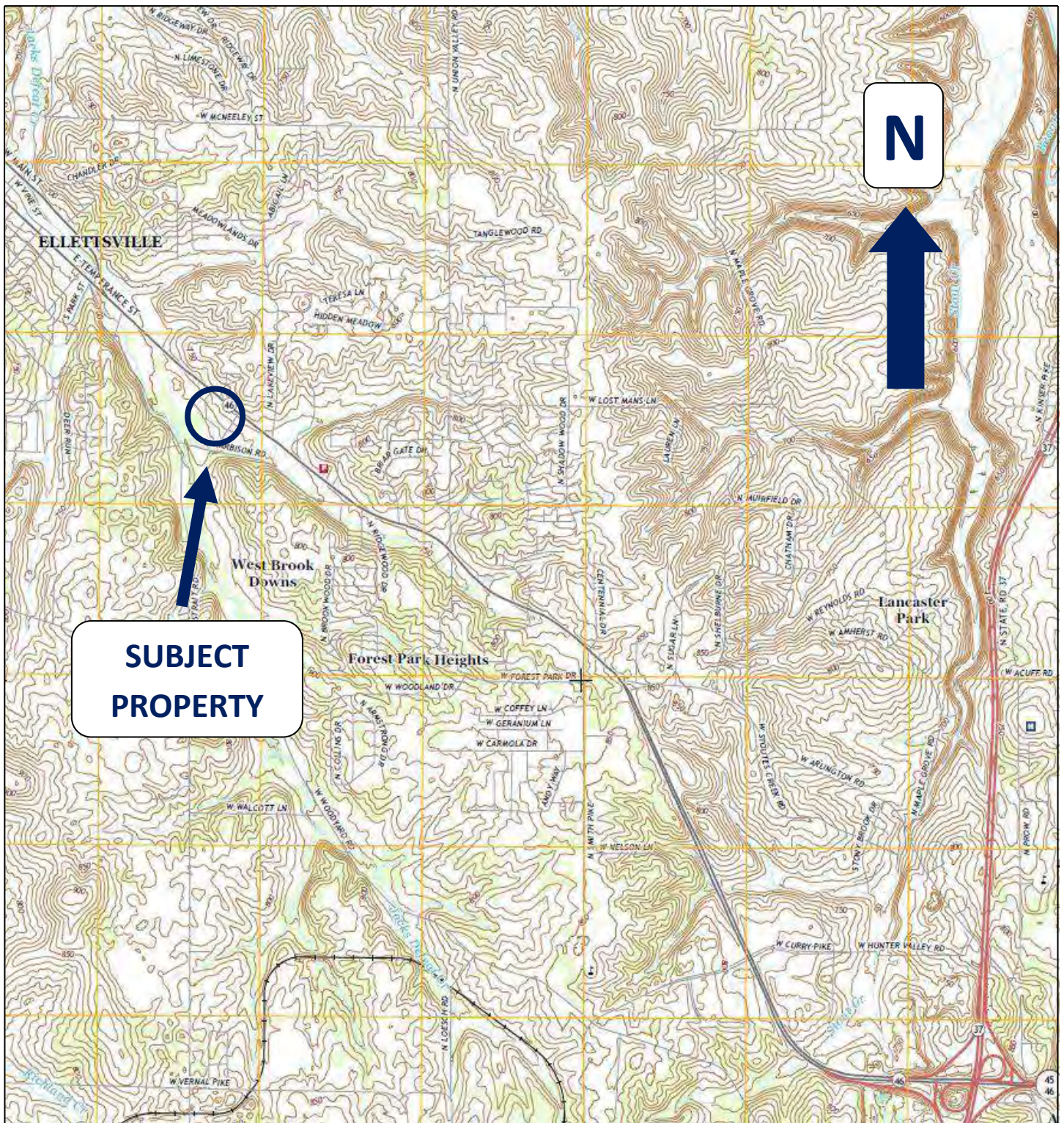
Photo 2 - facing eastward from the back of the lot (2023).



Photo 3 - facing south from the parking lot (2023).

APPENDIX B

FIGURES 1, 2, 3, AND 4



Source: USGS 7.5-Minute Quadrangle Map, Bloomington, IN 2016

Figure 1 – Site Location Map

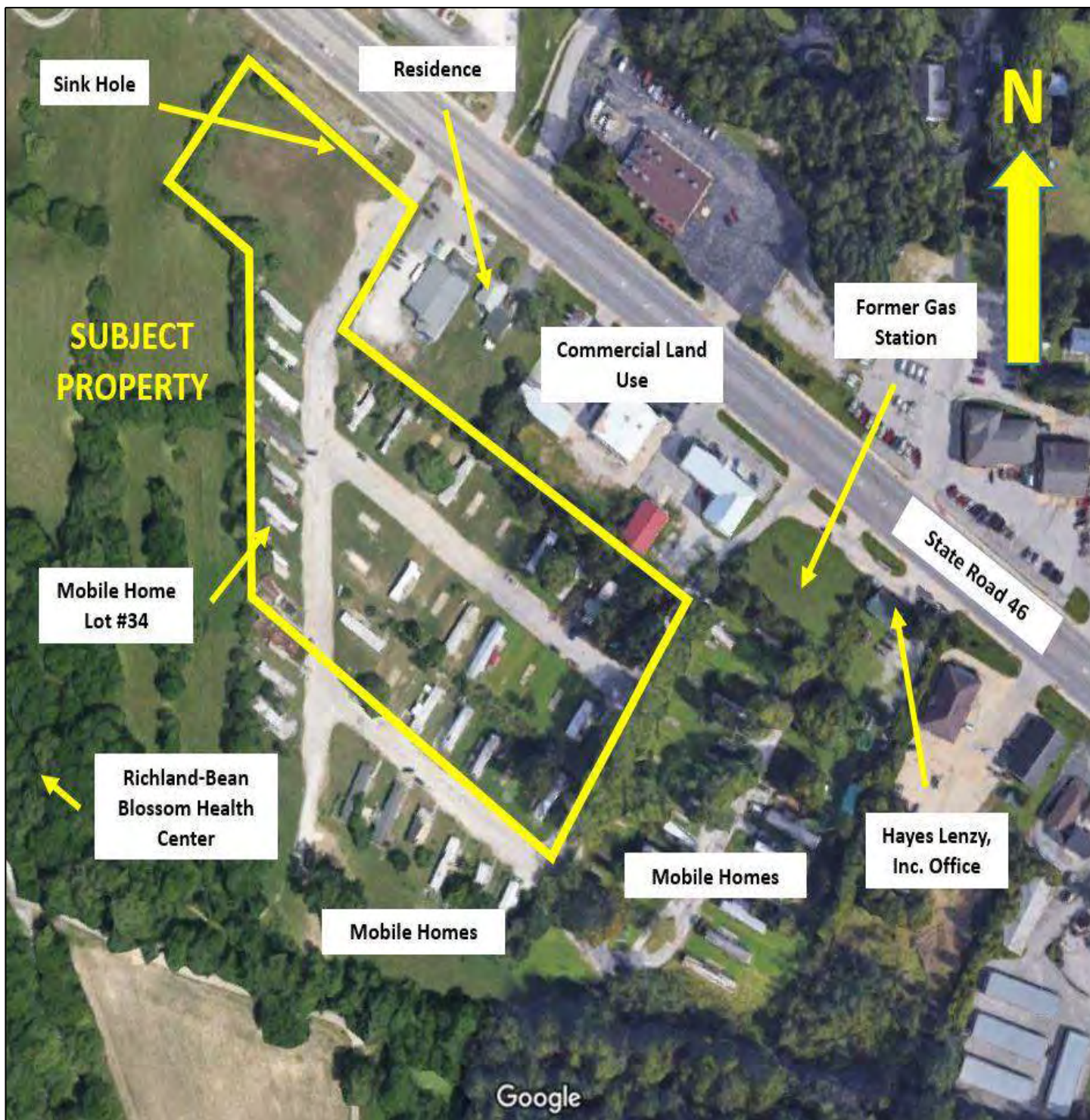
Governor Park Property
5665 West State Road 46
Bloomington, IN 47404

Scale: 1"= 2,000 feet

Drawn By: AD

Reviewed By: PT





Source: Google Maps

Approximate Property Boundary ▬

Figure 2 – Site Features Map

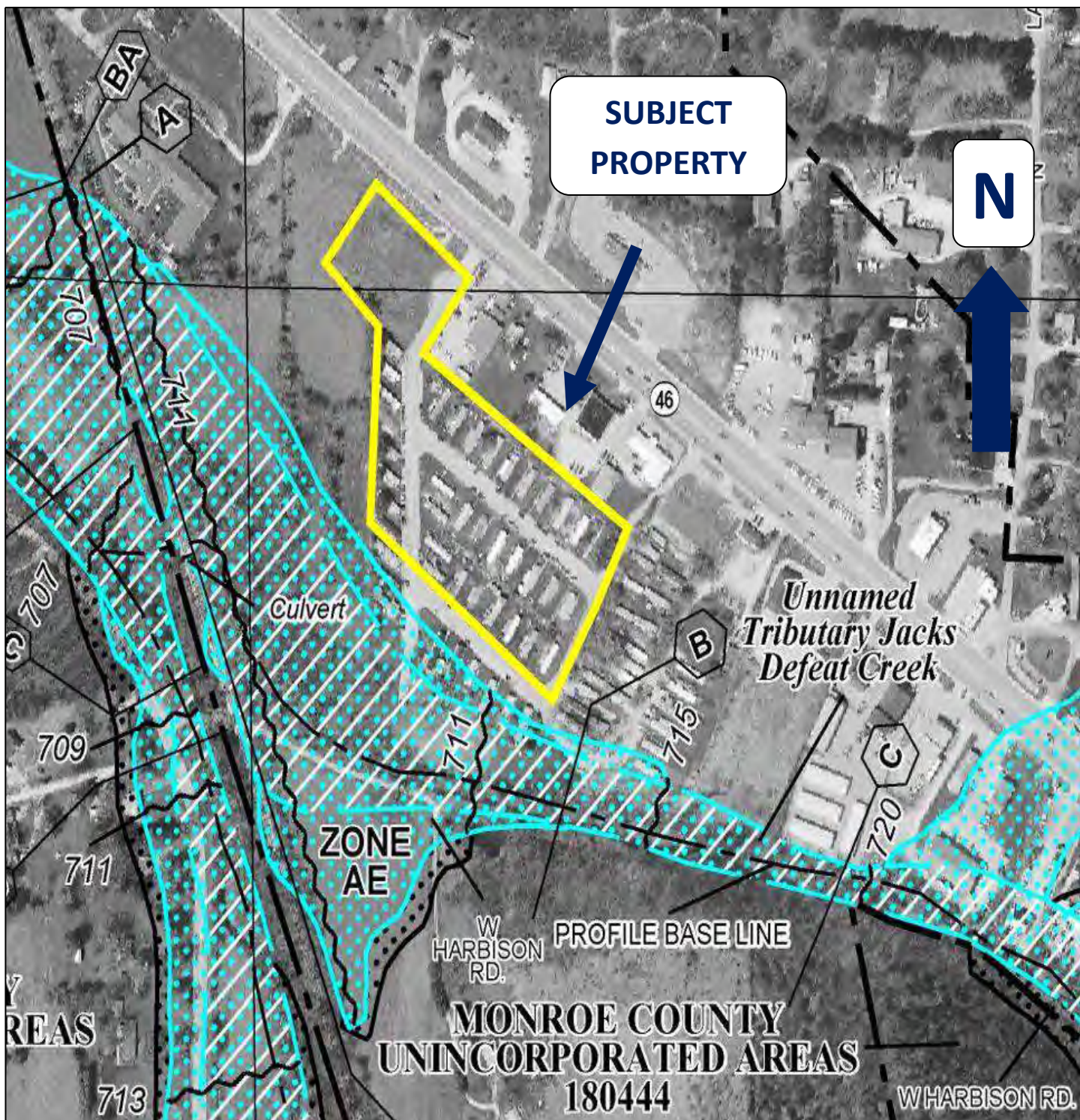
Governor Park Property
5665 West State Road 46
Bloomington, IN 47404

Scale: Not to Scale

Drawn By: AD

Reviewed By: PT





Source: FEMA Flood Map Service Center

Figure 3 – Flood Insurance Rate Map

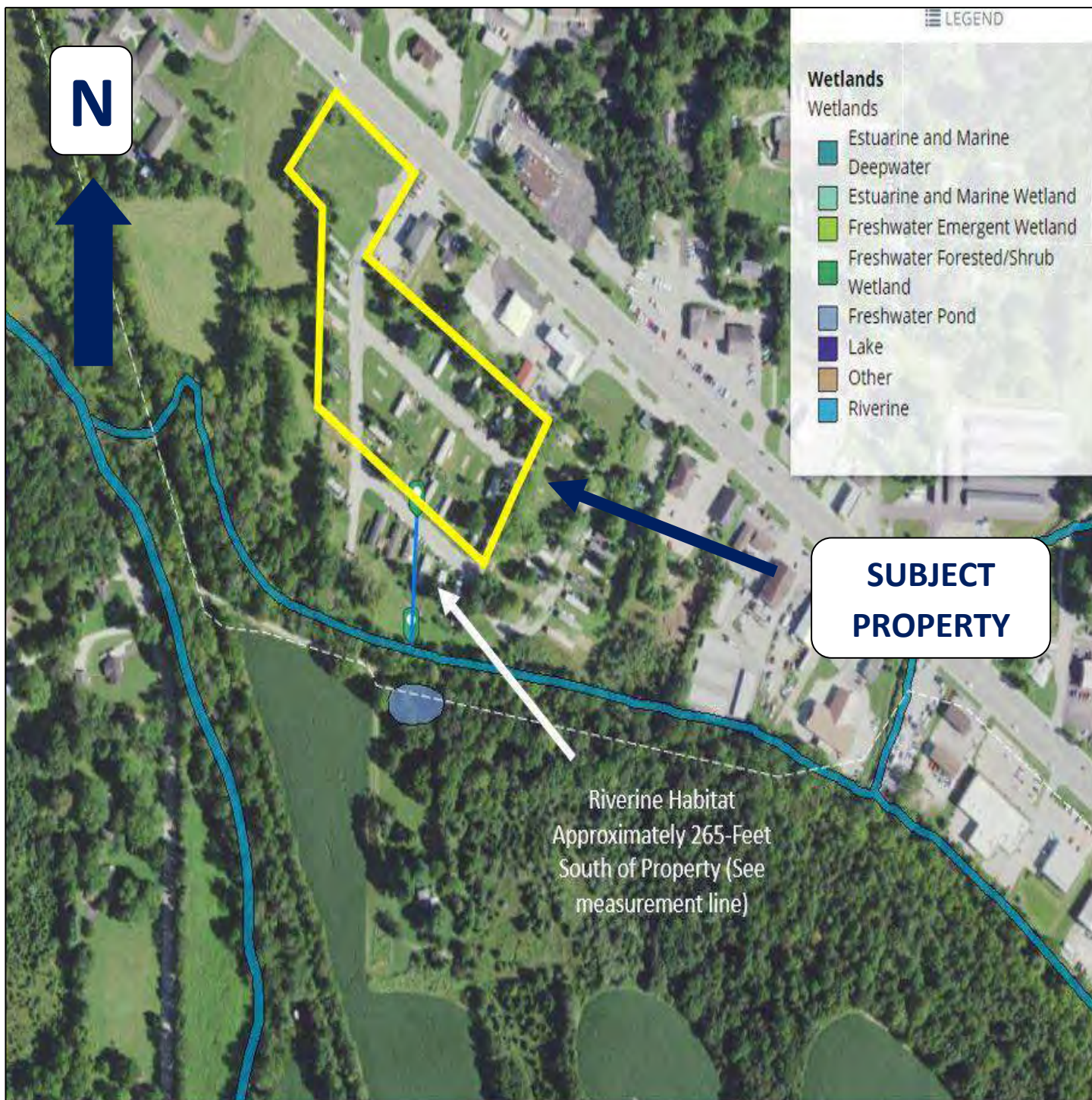
Governor Park Property
5665 West State Road 46
Bloomington, IN 47404

NOT TO SCALE

Drawn By: AD

Reviewed By: PT





Source: U.S. Fish & Wildlife, National Wetlands Inventory, Wetlands Mapper

Figure 4 – Wetlands Map

Governor Park Property
5665 West State Road 46
Bloomington, IN 47404

NOT TO SCALE

Drawn By: AD

Reviewed By: PT



IHSSI (County Survey)



Survey Number: 105-055-18087

Rating: Contributing

Historic Name: Manufactured Home

Year Dataset Compiled: 2015

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Richland	Bloomington

Address: 5661 West SR 46 #29

City: Ellettsville

Location Notes: -

Coordinates

Easting	Northing
533630	4341572

Common Name: Manufactured Home

Category: Building

Visible?: ☐

Historic District?: ☐

Historic District Name: -

Ownership: private

Use: Present

- Residence: ☒
- Commercial: ☐
- Vacant: ☐
- Other: ☐
- Other: ☐

Use: Past

- Residence: ☒
- Commercial: ☐
- Vacant: ☐

Other: ☐
Other: ☐

Surveys/Legal Protections

National Register: ☐ State Register: ☐ Hoosier Homestead: ☐
National Historic Landmark: ☐ Local Designation: ☐ Protective Covenants: ☐
Other: ☐
Areas of Significance: ARCHITECTURE
Other Significance: -
Endangered: No
Explanation: -

Number of Contributing Resources: 1
Number of Non-contributing Resources: 1

Environment: Residential neighborhood
Bibliography: Site visit and 39 degrees N

Structure Type

Bridge: ☐
Cemetery: ☐
Other: ☒

Time Period(s): c. 1958
Condition: Good
Year Demolished: -
Integrity: Unaltered
Date Moved: -
Alterations: -
Style: -
Type/Vernacular: Manufactured Housing

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: ☐ Roof: ☐
Other: ☐

Additions

Siding: ☐ Wings: ☐
Other: ☐
Removals: -

Stories

1: ☒ 1 1/2: ☐ 2: ☐ 2 1/2: ☐
Other: ☐

Plan

Rectangular: ☒ Polygonal: ☐
L: ☐ T: ☐ X: ☐ U: ☐
Irregular: ☐ Other: ☐

Depth

Single-Pile: ☐ Double-Pile: ☐
Irregular/Massed: ☐ Other: ☐

Number of Bays: -
Foundation: N/A
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: ☐ Front-Gable: ☐ Cross-Gable: ☐
Hip: ☐ Pyramidal: ☐ Mansard: ☐
Other: ☒ Description: Convex w/flat projec
Material: STEEL
Features: -

Porches

Front: ☐ Side: ☐ Back: ☐
Notes: -

Openings: Original metal 1/1 double hung and awning windows, original door

Interior: -

Outbuildings: Shed

Notes: Shed built in 1968

Statement of Significance: -

Architectural Description: Manufactured House has design features similar to the 1958 Great Lakes trailer

IHSSI (County Survey)



Survey Number: 105-055-18088
Rating: Contributing
Historic Name: Manufactured House
Year Dataset Compiled: 2015
National Register File Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Richland	Bloomington

Address: 5661 West SR 46 #30
City: Ellettsville
Location Notes: -

Coordinates

Easting	Northing
533645	4341563

Common Name: Manufactured House
Category: Building
Visible?: ☐
Historic District?: ☐
Historic District Name: -
Ownership: private

Use: Present

Residence: ☒ Commercial: ☐ Vacant: ☐
Other: ☐
Other: ☐

Use: Past

Residence: ☒ Commercial: ☐ Vacant: ☐

Other: ☐
Other: ☐

Surveys/Legal Protections

National Register: ☐ State Register: ☐ Hoosier Homestead: ☐
National Historic Landmark: ☐ Local Designation: ☐ Protective Covenants: ☐
Other: ☐
Areas of Significance: ARCHITECTURE
Other Significance: -
Endangered: No
Explanation: -

Number of Contributing Resources: 1
Number of Non-contributing Resources: 1

Environment: Residential neighborhood
Bibliography: Site visit and 39 degrees N

Structure Type

Bridge: ☐
Cemetery: ☐
Other: ☒

Time Period(s): c. 1958
Condition: Good
Year Demolished: -
Integrity: Slightly Altered
Date Moved: -
Alterations: -
Style: -
Type/Vernacular: Manufactured Housing

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: ☐ Roof: ☐
Other: ☐

Additions

Siding: ☐ Wings: ☐
Other: ☒ Description: Wood balustrade
Removals: -

Stories

1: ☒ 1 1/2: ☐ 2: ☐ 2 1/2: ☐
Other: ☐

Plan

Rectangular: ☒ Polygonal: ☐
L: ☐ T: ☐ X: ☐ U: ☐
Irregular: ☐ Other: ☐

Depth

Single-Pile: ☐ Double-Pile: ☐
Irregular/Massed: ☐ Other: ☐

Number of Bays: -
Foundation: N/A
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: ☐ Front-Gable: ☐ Cross-Gable: ☐
Hip: ☐ Pyramidal: ☐ Mansard: ☐
Other: ☒ Description: Flat w/convex projec
Material: STEEL
Features: -

Porches

Front: ☐ Side: ☒ Back: ☐
Notes: Partial width shed roof canopy w/sqr met posts, wd deck, lattice & balustra

Openings: Original metal 1/1 double hung windows, original door

Interior: -

Outbuildings: Shed
Notes: Shed built in 1968

Statement of Significance: -

Architectural Description: Manufactured House made by Village. It has design properties similar to the 1958 series Belvedere and Pan American trailers.



March 7, 2023

Drew Myers
Senior Planner
Monroe County Historic Preservation Board of Review
501 N Morton St.
Bloomington, IN 47404

Re: Construction of Retreat at Switchyard, a Multi-Family Building, Bloomington, Indiana
Project Based Voucher Program and Federal Tax Credits for New Construction

Dear Mr. Myers,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

The Area of Potential Effect (APE) is located at 1730 South Walnut Street, Bloomington, Indiana. The project scope of work involved ground disturbance and the demolition of an existing structure. Research confirms that the demolished structure was not rated on the Indiana State Historic Architectural and Archaeological Research Database (SHAARD) map or located within any local, state or Federal Historic district or is locally designated. The building was less than forty years old and not eligible for inclusion in the National Register.

Enclosed are a map with the location, recent photos from the site, plans of the proposed building, and historic aerial photography.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

Sincerely,



Gloria M. Colom Braña
Historic Preservation Program Manager
City of Bloomington, Indiana

Cc: Department of Historic Preservation and Archeology, Department of Natural Resources,
Indiana

Attachments

2023 Work Plan—Revised 2/13/2023
Monroe County Historic Preservation Board

Project Priorities: Outreach and Preservation, Ongoing Board Initiatives

1) Limestone Heritage Project

- a. Update website with new information as it is available
- b. Connect with Partners on information to link to

Sub-committee members: Debby, Susan, Polly

2) Drystone Walls

- a. Create list of action steps needed to prep for launch of survey
- b. Launch and conduct survey
- c. Discuss/pursue local designations and/or in-depth documentation of some walls
- d. Explore possibility for a hands-on workshop

Sub-committee members: Duncan, Don, Donn, Susan

3) Community and Site Signage

- a. Pursue community signage as long as funding is provided
- b. Pursue interpretive signage for new historic covered bridge

Sub-committee members: Devin, Don, Donn

4) Public Historic Preservation Education

- a. Develop a social media scavenger hunt of architectural types, styles, etc.
- b. Update current driving tour brochures as needed, consider completion of partially completed brochures, and examine new options for distribution of information to the public
- c. Participate in the Limestone Month Festival – June 10, 2023

Sub-committee members: Devin, Polly, Susan, Doug

5) Annual Property Owner Notice

- a. Send previous year's letter to full board for review (January-February) and update if needed
- b. Confer with staff on sending letter to property owners (February-March)

Sub-committee members: Don, Debby, Polly

6) Demolition Delay and Staffing Committee

- a. Review demolition delay examples and develop a draft document for Monroe County
- b. Review County Development Ordinance for proposed revisions per the proposed timeline
- c. Engage in discussions with the Plan Commission Executive Committee in creating plans and procedures for demolition delay, public notification, staffing needs, etc.

Sub-committee members: Duncan, Donn, Susan

Project Priorities: Procedure, Time Sensitive Initiatives—All Board

- 1) Actively engage in County Development Ordinance revisions

Board Education Priorities, Ongoing Options—All Board and staff

- 1) Attend the Preserving Historic Places Conference (September)
- 2) Attend CAMP held just prior to the preservation conference (September)
- 3) Attend, either in-person or online, lectures on topics of historical and preservation interest locally or elsewhere
- 4) Read books and other literature approved by DHPA's CLG coordinator and refer to the list of other options provided by DHPA
- 5) 5) Hold our own educational sessions/workshops presented by a board member or other qualified individual